



**City of Apopka
Planning Commission
Meeting Agenda**

July 25, 2017 - 6:00 PM

At the Apopka Community Center, 519 S. Central Avenue

I. CALL TO ORDER

If you wish to appear before the Planning Commission, please submit a “Notice of Intent to Speak” card to the Recording Secretary.

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

IV. SITE PLANS:

1. SUBDIVISION PLAT – CARRIAGE HILL RESIDENTIAL SUBDIVISION – Owned by JTD Land at Rogers Rd, LLC, and located east of Rogers Road, north of Lester Road (2303 Rogers Road.)

V. PUBLIC HEARING:

1. COMPREHENSIVE PLAN – LARGE SCALE - FUTURE LAND USE AMENDMENT – From Parks & Recreation to Residential Medium (0-10 du/ac); Residential High (0-15 du/ac); and Commercial (Max 0.25 FAR) for the property owned by Errol Club Villas Condo Assoc. Inc.; 5th Hole Investments; Errol Estate Country Club LTD; Errol Estate Management; Lexington Homes; and the City of Apopka generally located north of Lake Marion Drive and Lexington Parkway, south of Lester Road, east of Schopke Lester Road, and west of Vick Road.

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk’s Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 SPECIAL REPORTS
 PLAT APPROVAL
 OTHER: Plat

DATE: July 25, 2017
FROM: Community Development
EXHIBITS: Vicinity/Aerial Map
Final Dev Plan
Plat

SUBJECT: SUBDIVISION PLAT – CARRIAGE HILL RESIDENTIAL SUBDIVISION

Request: RECOMMEND APPROVAL OF THE PLAT FOR CARRIAGE HILL RESIDENTIAL SUBDIVISION

SUMMARY

OWNER/APPLICANT: JTD Land at Rogers Rd, LLC
PROJECT ENGINEER: Dewberry Engineers, Inc. c/o Christopher Allen, P.E.
LOCATION: 2303 Rogers Road
(East of Rogers Road and north of Lester Road)
EXISTING USE: Vacant land
FUTURE LAND USE: Residential Low Suburban (Max 3.5 du/ac)
ZONING: R-1
PROPOSED DEVELOPMENT: Single-Family Residential Subdivision (72 Lots; min. 9,000 sq. ft. lot area, 75 ft. min. lot width)
PROPOSED DENSITY: 2.42 du/ac
TRACT SIZE: 30.58 +/- acres
DEVELOPABLE AREA: 29.73 +/- acres
OPEN SPACE: 1.78 +/- acres

DISTRIBUTION:

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Development Director	Police Chief	Recreation Director

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Suburban	R-1AA	Vacant Land
East (City)	Residential Low Suburban	R-1AA	Vacant land
South (City)	Residential Low Suburban	R-1	Lester Ridge Subdivision
West (City)	Residential Low Suburban	R-1AA	Wekiva Run Subdivision
West (County)	Low Density Residential	A-1	Greenhouse

Project Use: The Carriage Hill – Final Development Plan proposes the development of 72 single family residential lots and 0.42 acre Active and Passive Park. The community proposed a minimum typical lot width of 75 feet with a minimum lot size of 9,000 square feet (8,000 s.f. is required by code). The proposed minimum living area is 1,500 s.f., as set forth in Section 2.02.05.F of the Land Development Code.

The minimum setbacks applicable to this project are:

Setback	Min. Standard
Front*	25'
Side	10'
Rear	20'
Corner	25'

*Front-entry garage must be setback 30 feet.

Access: Ingress/egress access points for the development will be via full access onto Rogers Road. Future road right-of-way is reserved for connection to future development on the northern abutting parcel, as shown between lots 15 and 16. A connection to the west in front of Lot 19 prevents the abutting western parcel from becoming landlocked.

Stormwater: There is one retention pond designed to meet the City’s Land Development Code requirements.

Recreation: The developer is providing 0.42 +/- acre (18,295.20 s.f.) of active and passive recreation space. Details of active and passive recreation equipment and facilities are as follows: playground and open space.

Buffer/Tree Program: Landscape buffers provided are consistent with the Land Development. The City’s Land Development Code and Tree Bank policy authorize the City Council to require the applicant to make a contribution to the City’s Tree Bank to mitigate the remaining tree inches for the residential section. The Applicant has committed to pay \$10.00 per deficient tree inch (totaling \$11,590.00) into the Tree Bank prior to issuance of the initial Arbor/Clearing permit.

The following is a summary of the tree replacement program for this project:

Total inches on-site:	5009
Total number of specimen trees:	56
Total inches removed:	4737
Total inches retained:	272
Total inches replaced:	1160
Total Inches (Post Development):	1432

SCHOOL CAPACITY REPORT: A school mitigation agreement has been obtained from OCPS.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

July 25, 2017 - Planning Commission, 5:30 p.m.
August 2, 2017 - City Council, 1:30 p.m.

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Carriage Hill - Plat, subject to the findings of the staff report. The Plat is consistent with the Final Development Plan, and the Final Development Plan is consistent with the approved Preliminary Development Plan.

Recommended Motion: Find the Carriage Hill Plat consistent with the Final Development Plan and recommend approval of Carriage Hill Subdivision - Plat.

Planning Commission Role: The role of the Planning Commission for this development application is to advise the City Council to approve or deny, the PLAT based on consistency with the Comprehensive Plan and Land Development Code. Planning Commission has already reviewed the Preliminary Development Plan for this project; therefore, the Final Development Plan goes directly to City Council.

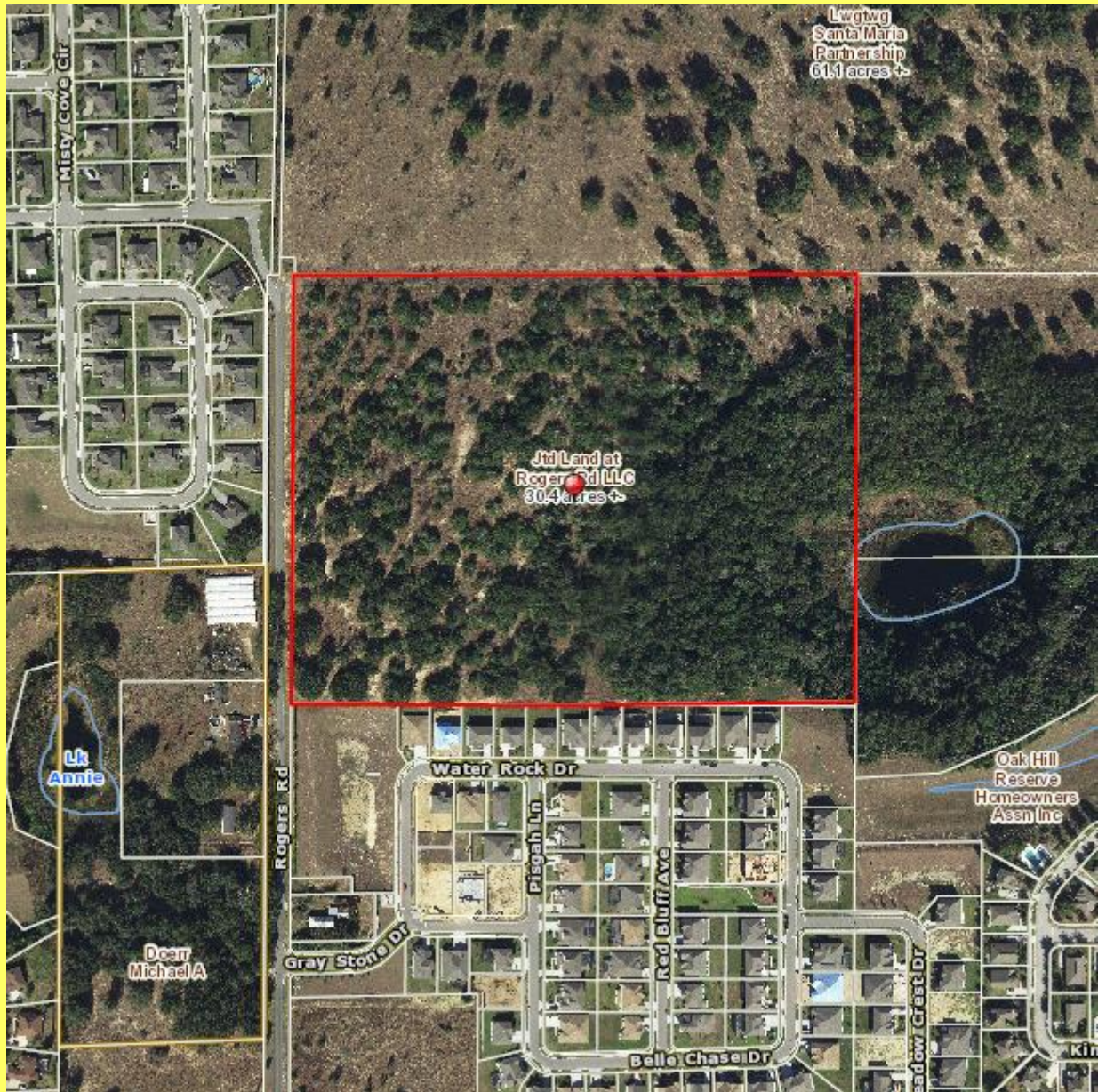
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Carriage Hill - Preliminary Development Plan
Owner Applicant: JTD Land at Rogers Rd., LLC
Project Engineer: Dewberry Engineers, Inc., c/o Christian J. Allen, P.E.
Parcel ID No's: 29-20-28-0000-00-004 & 29-20-28-0000-00-026
Total Acres: 30.58 +/-

VICINITY MAP



AERIAL MAP



Drawing Index

Civil

- C01 COVER SHEET
- C02-C04 GENERAL NOTES
- C05 STORMWATER POLLUTION PROTECTION PLAN
- C06 EXISTING CONDITIONS PLAN
- C06A TREE SAVE PLAN
- C07 SOILS TYPE MAP & SOIL BORINGS LOCATIONS
- C08 EROSION CONTROL
- C09 SITE PLAN
- C10, C10A GEOMETRY PLANS
- C11, C11A UTILITY PLANS
- C12, C12A LOT & BLOCK GRADING PLANS
- C12B LOT & BLOCK DETAILS & SECTIONS
- C13 POND SITE PLAN
- C14-C18 PLAN & PROFILES
- C19 OFFSITE UTILITIES PLAN
- C20 AUTOTURN SITE PLAN
- C21 STRIPING PLAN
- C22 LIFT STATION SITE PLAN
- C23 LIFT STATION DETAILS
- C24 SANITARY SEWER DETAILS
- C25 WATER MAIN DETAILS
- C26 RECLAIMED WATER MAIN DETAILS
- C27 DRAINAGE & PAVING DETAILS
- C28 TYPICAL SECTIONS

LANDSCAPE

- L1.10 TREE REMOVAL PLAN
- L1.20 TREE PROTECTION DETAILS
- L2.10 LANDSCAPE PLAN
- L2.11 LANDSCAPE PLAN
- L2.20 LANDSCAPE NOTES, LEGEND & DETAILS

NOTE:

A LETTER MUST BE OBTAINED FROM THE FLORIDA FISH & WILDLIFE CONSERVATION COMMISSIONER (FWCC) REGARDING WILDLIFE MANAGEMENT PLAN, PRIOR TO ANY CONSTRUCTION ACTIVITIES

LEGAL DESCRIPTION:

(PER FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. 5011813-2037-3407799 THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL NO. 1:
 THE NORTH-EAST QUARTER (NE 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4), IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, TEN (10) ACRES MORE OR LESS;
 THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST;
 THE NORTH ONE-HALF (N 1/2) OF THE SOUTH ONE-HALF (S 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, TEN (10) ACRES MORE OR LESS.
 LESS: RIGHT OF WAY TO THE COUNTY OF ORANGE AS SHOWN IN O.R. BOOK 1803, PAGE 779, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, DESCRIBED AS: WEST 30 FEET OF NORTH 1/4 OF THE NORTHWEST 1/4 OF SOUTHWEST 1/4, SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST.
 AND LESS: THAT PARCEL OF LAND DEEDED TO ELROY A. LESTER AND RUTH B. LESTER AS SHOWN ON O.R. BOOK 3073, PAGE 248, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, DESCRIBED AS: BEGIN AT A POINT 12 FEET NORTH OF THE SOUTHWEST CORNER OF THE NORTH 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, THENCE SOUTHEASTERLY TO A POINT ONE-HALF (1/2) THE DISTANCE BETWEEN THE EAST LINE AND THE WEST LINE OF SAID NORTH 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, TO THE SOUTH LINE OF SAID NORTH 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, THENCE WEST TO WEST LINE OF SAID NORTH 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, THENCE NORTH 12 FEET TO THE P.O.B., LESS THE WEST 30 FEET FOR ROAD, ORANGE COUNTY, FLORIDA, SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST.
 PARCEL IDENTIFICATION NUMBER: 29-20-28-0000-00004

PARCEL NO. 2:
 BEGIN AT THE NORTH-EAST CORNER OF THE SOUTH 1/4 OF THE NW 1/4 OF THE SW 1/4 THENCE WEST TO THE HALF WAY POINT BETWEEN THE EAST LINE AND THE WEST LINE OF THE SAID SOUTH 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4, THENCE SOUTHEASTERLY TO THE EAST LINE OF SAID SOUTH 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, THENCE NORTH 12 FEET TO THE POINT OF BEGINNING, ALL IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.
 PARCEL IDENTIFICATION NUMBER: 29-20-28-0000-00005

ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 A PORTION OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:
 COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, THENCE N89°54'29"E, ALONG THE NORTH LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 28, A DISTANCE OF 30.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF ROGERS ROAD AS DESCRIBED IN OFFICIAL RECORDS BOOK 1803, PAGE 779, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID NORTH LINE, N89°54'29"E, A DISTANCE OF 1321.79 FEET TO THE NORTH-EAST CORNER OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 28; THENCE S89°18'12"W, ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 28, A DISTANCE OF 1912.84 FEET TO A POINT ON THE SOUTH LINE OF THOSE CERTAIN LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3073, PAGE 248, OF AFORESAID PUBLIC RECORDS; SAID POINT ALSO LYING ON THE NORTH LINE OF LESTER RIDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 78, PAGES 111-114, SAID PUBLIC RECORDS; THENCE N89°42'29"W, ALONG SAID SOUTH LINE, A DISTANCE OF 475.27 FEET TO THE MIDPOINT BETWEEN THE EAST LINE AND THE WEST LINE OF THE NORTH 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 28; THENCE CONTINUE N89°42'29"W, ALONG SAID SOUTH LINE, A DISTANCE OF 945.27 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF AFORESAID ROGERS ROAD; THENCE N00°19'59"E, ALONG SAID EAST LINE, A DISTANCE OF 1004.18 FEET TO THE POINT OF BEGINNING.
 SAID LANDS CONTAINING 1,332,257 SQUARE FEET OR 30.58 ACRES, MORE OR LESS.



CARRIAGE HILL

Apopka, Florida

Final Development Plans

NOVEMBER 2016

Parcel ID. Number: 29-20-28-0000-00-004
 29-20-28-0000-00-026

Applicant / Owner

JTD LAND AT ROGERS RD., LLC
 A FLORIDA LIMITED LIABILITY CORPORATION
 210 SOUTH HOAGLAND BOULEVARD
 KISSIMMEE, FLORIDA 34741
 CONTACT: CRAIG HARRIS

Civil Engineer / Planner

DEWBERRY ENGINEERS, INC.
 800 NORTH MAGNOLIA AVENUE
 SUITE 1000
 ORLANDO, FLORIDA 32803
 PHONE: 407-843-5120
 CONTACT: CHRISTOPHER J. ALLEN, P.E.

Surveyor

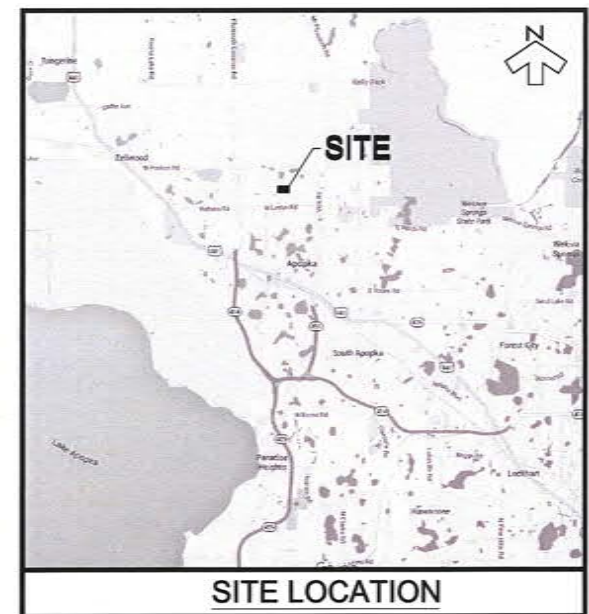
DEWBERRY ENGINEERS, INC.
 131 WEST KALEY STREET
 ORLANDO, FLORIDA 32806
 PHONE: 407-843-5120
 CONTACT: WILLIAM D. DONLEY, PLS

Geotechnical

UNIVERSAL ENGINEERING SERVICES, INC.
 3532 MAGGIE BOULEVARD
 ORLANDO, FLORIDA 32811
 PHONE: 407-423-0504
 CONTACT: ARAVIND V. RANGASWAMY

Environmental Sciences

BIO-TECH CONSULTING INC.
 2002 E. ROBINSON STREET
 ORLANDO, FLORIDA 32801
 PHONE: 407-694-5969
 CONTACT: JOHN MIKLOS



NTS

Prepared for:
JTD LAND AT ROGERS RD., LLC
 210 South Hoagland Boulevard
 Kissimmee, Florida 34741
 Contact: Craig Harris



Dewberry
 Dewberry Engineers Inc.
 800 NORTH MAGNOLIA AVE
 SUITE 1000
 ORLANDO, FL 32803
 PHONE: 407.843.5120
 ENGINEERING BUSINESS 4734

CARRIAGE HILL
 APOPKA, FLORIDA

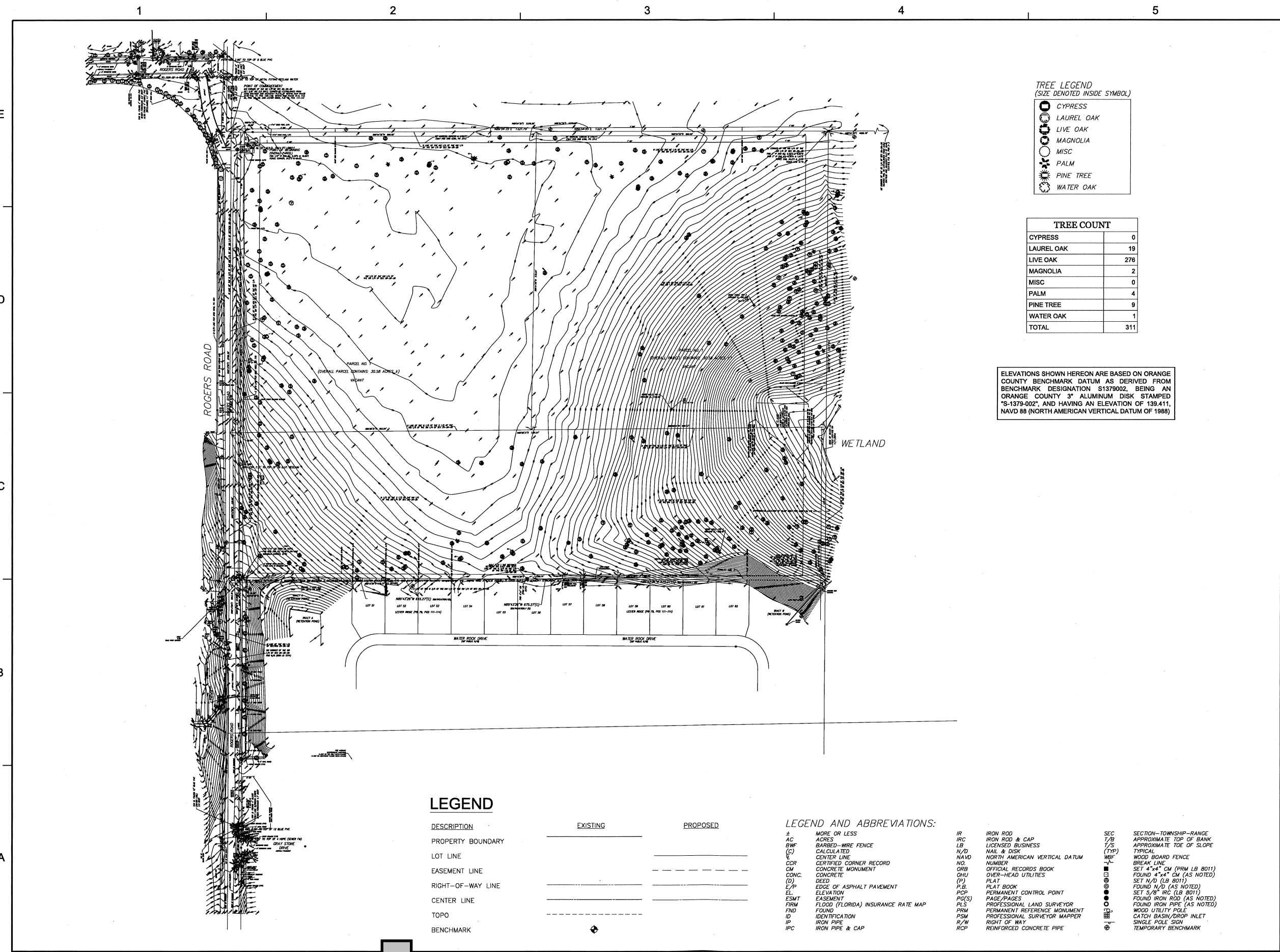
SEAL
 Christopher J. Allen
 FL PE # 77719
 6/12/2017

No.	DATE	BY	Description
2	06-02-17	KJK	REV PER CITY
1	03-01-17	KJK	REV PER CITY & OWNER

PROJECT # 50078026
 DRAWN BY KJK
 APPROVED BY CJA
 CHECKED BY CJA
 DATE NOVEMBER 2016
 DATUM NAVD 88

TITLE
 COVER SHEET
 ROGR-1 Final ROGR1 Cover.dgn
 SHEET NO.

C01



TREE LEGEND
(SIZE DENOTED INSIDE SYMBOL)

- CYPRESS
- LAUREL OAK
- LIVE OAK
- MAGNOLIA
- MISC
- PALM
- PINE TREE
- WATER OAK

TREE COUNT

CYPRESS	0
LAUREL OAK	19
LIVE OAK	276
MAGNOLIA	2
MISC	0
PALM	4
PINE TREE	9
WATER OAK	1
TOTAL	311

ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK DATUM AS DERIVED FROM BENCHMARK DESIGNATION S1379002, BEING AN ORANGE COUNTY 3" ALUMINUM DISK STAMPED "S-1379-002", AND HAVING AN ELEVATION OF 139.411, NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988)

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY BOUNDARY	—	—
LOT LINE	—	—
EASEMENT LINE	—	—
RIGHT-OF-WAY LINE	—	—
CENTER LINE	—	—
TOPO	—	—
BENCHMARK	⊕	⊕

LEGEND AND ABBREVIATIONS:

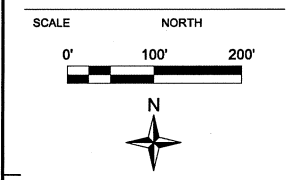
±	MORE OR LESS	IR	IRON ROD	SEC	SECTION-TOWNSHIP-RANGE
AC	ACRES	IRC	IRON ROD & CAP	T/B	APPROXIMATE TOP OF BANK
BWF	BARBED-WIRE FENCE	LB	LICENSED BUSINESS	T/S	APPROXIMATE TOE OF SLOPE
(C)	CALCULATED	N/D	NAIL & DISK	(TYP)	TYPICAL
CL	CENTER LINE	NAVD	NORTH AMERICAN VERTICAL DATUM	WB	WOOD BOARD FENCE
CCR	CERTIFIED CORNER RECORD	NO.	NUMBER	—	BREAK LINE
CM	CONCRETE MONUMENT	ORB	OFFICIAL RECORDS BOOK	■	SET 4"x4" CM (PRM LB 8011)
CONC.	CONCRETE	O/HU	OVER-HEAD UTILITIES	□	FOUND 4"x4" CM (AS NOTED)
(D)	DEED	(P)	PLAT	○	SET N/D (LB 8011)
E/P	EDGE OF ASPHALT PAVEMENT	P.B.	PLAT BOOK	○	FOUND N/D (AS NOTED)
EL	ELEVATION	PCP	PERMANENT CONTROL POINT	○	SET 3/8" IRC (LB 8011)
ESMT	EASEMENT	PG(S)	PAGE/PAGES	●	FOUND IRON ROD (AS NOTED)
FIRM	FLOOD (FLORIDA) INSURANCE RATE MAP	PLS	PROFESSIONAL LAND SURVEYOR	○	FOUND IRON PIPE (AS NOTED)
FND	FOUND	PRM	PERMANENT REFERENCE MONUMENT	○	WOOD UTILITY POLE
ID	IDENTIFICATION	PSM	PROFESSIONAL SURVEYOR MAPPER	○	CATCH BASIN/DROP INLET
IP	IRON PIPE	R/W	RIGHT OF WAY	○	SINGLE POLE SIGN
IPC	IRON PIPE & CAP	RCP	REINFORCED CONCRETE PIPE	○	TEMPORARY BENCHMARK

Dewberry
Dewberry Engineers Inc.
800 NORTH MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.843.5120
ENGINEERING BUSINESS - 8784

CARRIAGE HILL

APOPKA, FLORIDA

SEAL
Christopher J. Allen
FL PE # 77719
682017

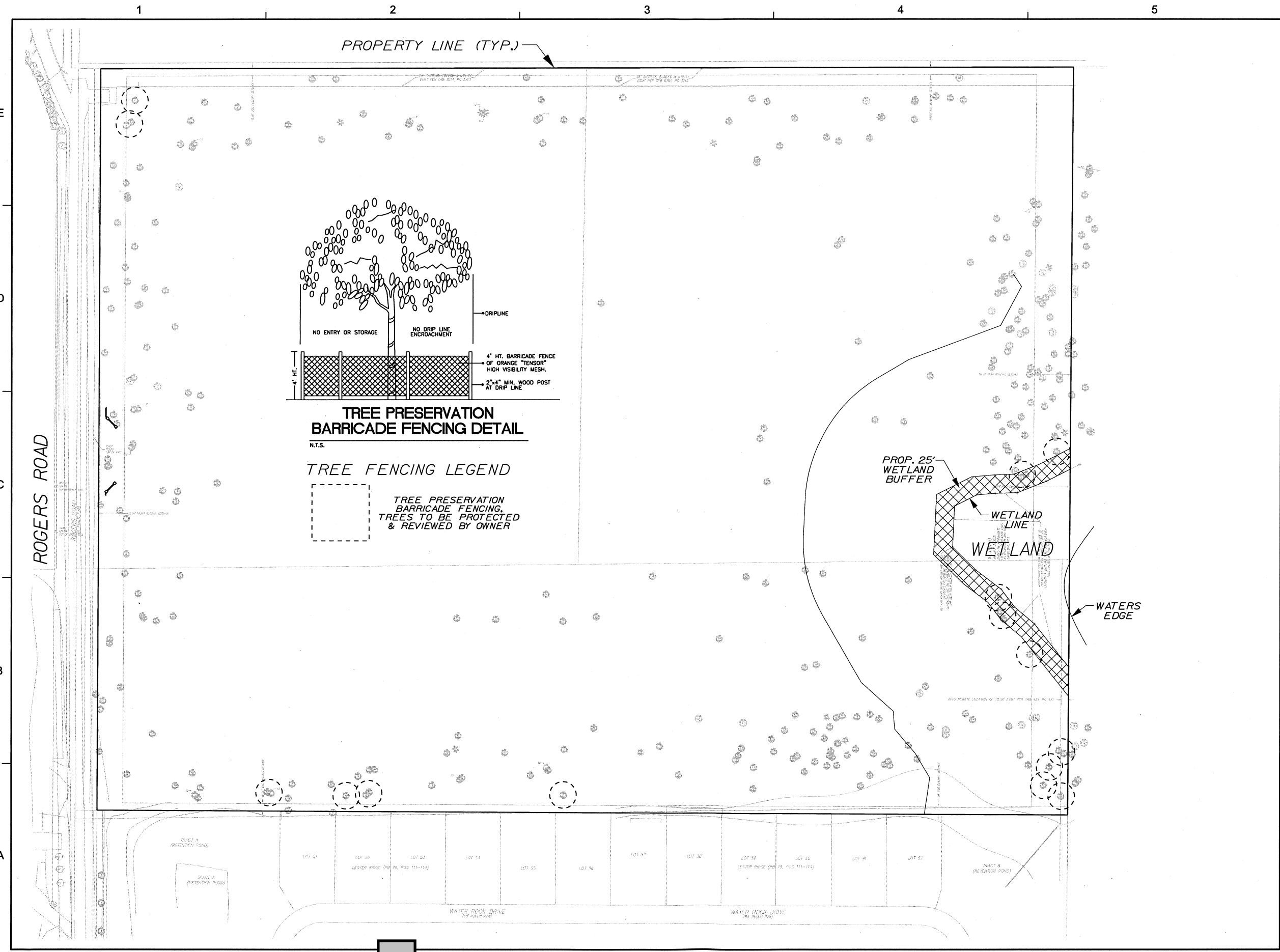


REVISIONS

No.	DATE	BY	REV PER CITY & OWNER	Description
1	03-01-17	KJK	REV PER CITY & OWNER	

PROJECT # 50078026
DRAWN BY KJK
APPROVED BY CJA
CHECKED BY CJA
DATE NOVEMBER 2016
DATUM NAVD 88

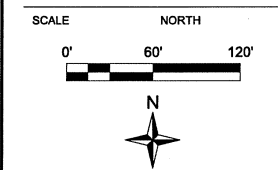
TITLE
EXISTING CONDITIONS PLAN
ROGR-1 Final ROGR1 ExistingConditions.dgn
SHEET NO. **C06**



CARRIAGE HILL

APOPKA, FLORIDA

SEAL
Christopher J. Allen
PE # 77719
6/8/2017



REVISIONS

No.	DATE	BY	DESCRIPTION
1	03-01-17	KJK	REV PER CITY & OWNER

PROJECT # 50078026
DRAWN BY KJK
APPROVED BY CJA
CHECKED BY CJA
DATE NOVEMBER 2016
DATUM NAVD 88

TITLE

TREE SAVE PLAN

ROGR-1 Final ROGR1 SoilsMap.dgn
SHEET NO.

C06A



SITE DATA

TOTAL AREA:	30.58 AC
TOTAL DEVELOPABLE AREA:	29.73 AC
NUMBER OF LOTS:	72
DENSITY:	2.42 DU/AC

* THIS PROJECT WILL BE DEVELOPED IN A SINGLE PHASE.

EXISTING ZONING:	R-1
EXISTING LAND USE:	VACANT
FUTURE LAND USE:	RESIDENTIAL LOW SUBURBAN

LAND USE AREAS:

RESIDENTIAL (LOTS)	16.17 AC
PUBLIC RIGHT-OF-WAY	4.87 AC
STORMWATER POND	7.83 AC
PARK	0.42 AC
BUFFERS/OPEN SPACE	0.51 AC
LIFT STATION	0.03 AC
WETLAND/WETLAND BUFFER	0.85 AC
TOTAL:	30.58 AC

10' BUFFER ALONG THE WESTERN PERIMETER WITH 6' SCREEN WALL

REQUIRED TREES:

3 TREES PER LOT	216 (72x3)
ONE (1) TREE PER FIFTY (50) LF OF ROAD	79 (3,909/50)
TOTAL:	295

PROVIDED RECREATION:

REQUIRED RECREATION, 2 LOTS FOR 51-75 UNITS	0.41 AC
PROVIDED: ACTIVE/TRAILS/PARKS	0.42 AC (TRACT C)
TOTAL PROVIDED:	0.42 AC

MINIMUM BUILDING SETBACKS

FRONT (TO BLDGS. UNDER A/C)	25'
REAR	20'
SIDE (STREET)	25'
FRONT (TO GARAGE)	30'

MAX. BUILDING HEIGHT: 3 STORIES, 35'
 MIN. LOT WIDTH: 75'
 MIN. LOT DEPTH: 120'
 MIN. LOT AREA: 9,000 SF
 MIN. LIVING AREA: 1,500 SF

- NOTES:
- PER THE REPORT PREPARED BY TRAFFIC MOBILITY CONSULTANTS, THE PROPOSED DEVELOPMENT WILL GENERATE 786 DAILY TRIPS, OF WHICH 79 WILL OCCUR DURING THE PM PEAK HOUR.
 - ALL ROADWAYS, WATER LINE INFRASTRUCTURE & FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION MAY BEGIN.
 - THIS COMMUNITY IS NOT PROPOSED TO BE GATED.
 - SINGLE FAMILY RESIDENTIAL ARCHITECTURE MUST MEET THE INTENT OF THE CITY'S DEVELOPMENT DESIGN GUIDELINES, SECTION 3.2 RESIDENTIAL ARCHITECTURE STANDARDS. ARCHITECTURAL RENDERINGS OF ALL PROPOSED RESIDENTIAL BUILDINGS MUST BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN APPLICATION.
 - FRONT LOAD GARAGES SHALL BE SETBACK 30FT FROM FRONT PROPERTY LINE.
 - SITE IS LOCATED IN 100 YEAR FEMA FLOOD ZONE "X".
 - PARKS SHALL BE ADEQUATELY LIT ON AUTOMATIC TIMERS WITHOUT PROJECTING A GLARE ONTO ADJACENT PROPERTIES.

UTILITY PROVIDERS:
 POTABLE WATER: APOPKA UTILITIES
 SANITARY SEWER: APOPKA UTILITIES
 LIFT STATION TRACT: APOPKA UTILITIES
 ELECTRIC SERVICE: DUKE ENERGY

LEGEND

DESCRIPTION	EXISTING	PROPOSED
PROPERTY BOUNDARY	---	---
LOT LINE	---	---
EASEMENT LINE	---	---
RIGHT-OF-WAY LINE	---	---
CENTER LINE	---	---
TOPO	---	---
ADJACENT USES	---	---

• FUTURE LAND USE
 • ZONING

- NOTES:
- ALL SIDEWALK DESIGNS MUST CONFORM TO FDOT INDEX No. 304 (SEE SHIT. No. C27).
 - A UTILITY, DRAINAGE, ACCESS, WALL & SIDEWALK ESMT. IS DEDICATED OVER ALL HOA TRACTS.
 - ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH CITY OF APOPKA UTILITIES MAINS. CONTRACTOR TO USE EXTREME CAUTION WORKING AROUND EXISTING UTILITIES.
 - MAINTAIN 3' SEPARATION BETWEEN PRESSURE PIPES AND STORM STRUCTURES.
 - SEASONAL HIGH GROUNDWATER PER UNIVERSAL ENGINEERING SCIENCES, INC., PROJECT No. 0130.1500271.0001, REPORT No. 1299342, DATED 1-8-16.
 - FOR TYPICAL PAVEMENT SECTION SEE SHEET No. C27.
 - FOR TYPICAL SECTIONS SEE SHEET No. C28.
 - FOR TRACT TABLE SEE SHEET No. C10.
 - WETLAND AREAS SHALL BE CLEARLY MARKED WITH PERMANENT SIGNS. SEE SHEET No. C08 FOR DETAIL.
 - CONTRACTOR TO PROTECT AND PREVENT ANY DISTURBANCE, SILTATION, ETC. TO THE PRESERVED WETLANDS. NO CONSTRUCTION WILL BE ALLOWED WITHIN THE PRESERVED WETLANDS AND/OR UPLAND BUFFERS AS AREA TO REMAIN NATURAL.

ELEVATIONS SHOWN HEREON ARE BASED ON ORANGE COUNTY BENCHMARK DATUM AS DERIVED FROM BENCHMARK DESIGNATION S1379002, BEING AN ORANGE COUNTY 3" ALUMINUM DISK STAMPED "S-1379-002", AND HAVING AN ELEVATION OF 139.411, NAVD 88 (NORTH AMERICAN VERTICAL DATUM OF 1988)

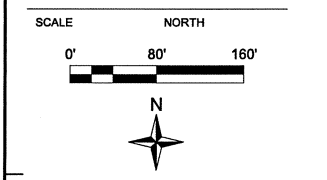
NOTE:
 ALL GEOTECHNICAL REPORTS ARE CONSIDERED TO BE PART OF THESE PLANS. THE CONTRACTOR SHALL OBTAIN ANY AND ALL GEOTECHNICAL REPORTS AND CONSTRUCT ACCORDING TO THE RECOMMENDATION AND REQUIREMENTS SET FORTH IN SAID REPORTS. ANY CONFLICTS BETWEEN THE GEOTECHNICAL REPORT AND THE ENGINEERING PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION ACTIVITIES.

NOTE: USE PLAT FOR ALL CONSTRUCTION LAYOUT WORK.

Dewberry
 Dewberry Engineers Inc.
 800 NORTH MAGNOLIA AVE
 SUITE 1000
 ORLANDO, FL 32803
 PHONE: 407.843.5120
 ENGINEERING BUSINESS - 8794

CARRIAGE HILL
 APOPKA, FLORIDA

SEAL
 Christopher J. Allen
 FL PE # 77719
 6/9/2017



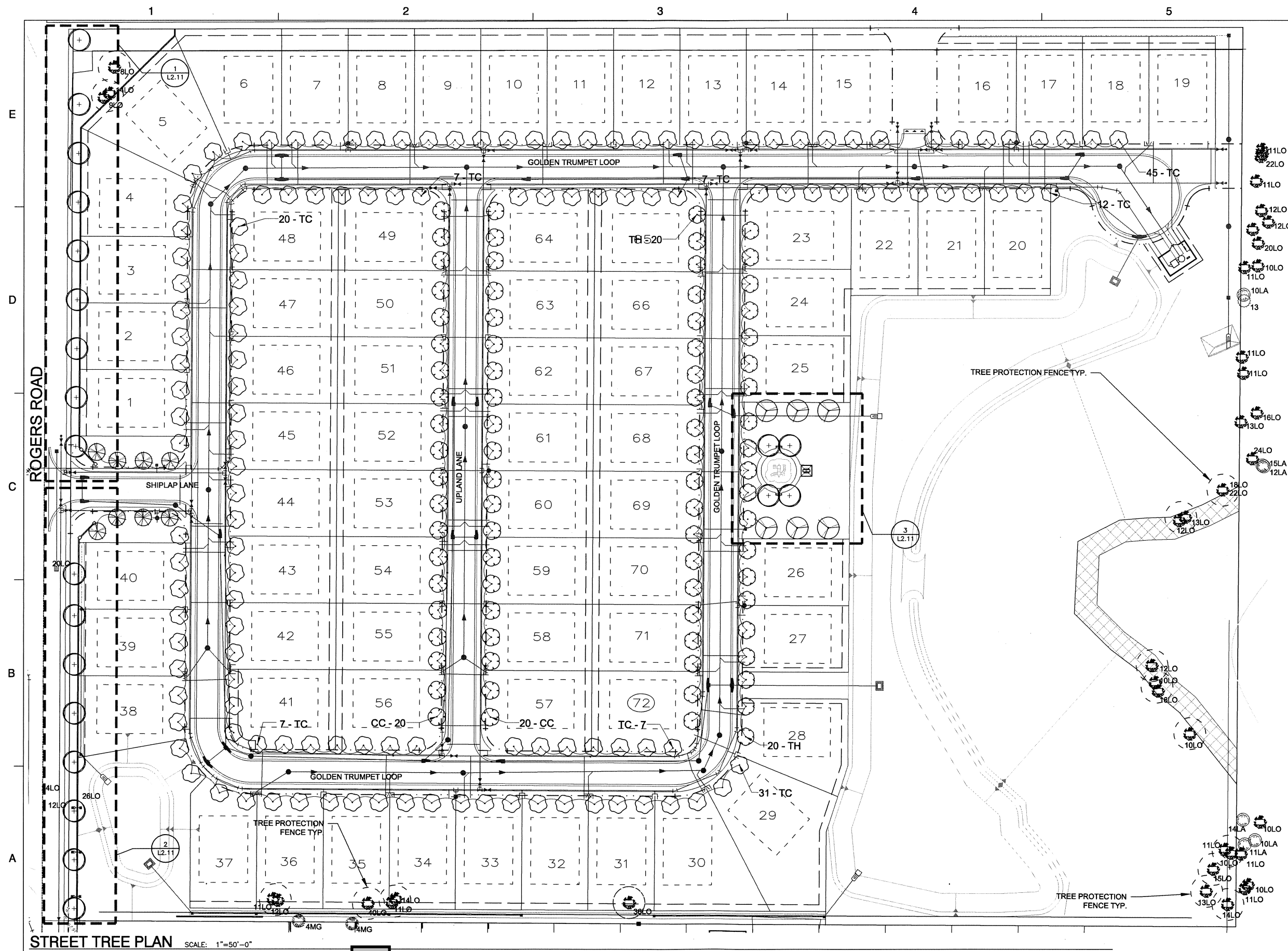
REVISIONS

No.	DATE	BY	REV PER CITY & OWNER	Description
1	03-01-17	KJK		

PROJECT # 50078026
 DRAWN BY KJK
 APPROVED BY CJA
 CHECKED BY CJA
 DATE NOVEMBER 2016
 DATUM NAVD 88

SITE PLAN
 ROGR-1 Final ROGR1 SitePlan.dgn
 SHEET NO.

C09



STREET TREE PLAN SCALE: 1"=50'-0"



Dewberry Engineers Inc.
 800 N MAGNOLIA AVE
 SUITE 100
 ORLANDO, FL 32803
 PHONE: 407.843.5120
 ENGINEERING BUSINESS #794

**CARRIAGE HILL
 (FKA ROGERS ROAD)
 PRELIMINARY
 DEVELOPMENT PLAN**
 JTD LAND AT ROGERS RD., LLC
 APOPKA, FLORIDA

SEAL
 Michael J. Luchuk
 FL RLA # 688675
 Jun 06, 2017

KEY PLAN
 SCALE
 NORTH
 0' 50' 100'

No.	DATE	BY	Description

REVISIONS

No.	DATE	BY	Description

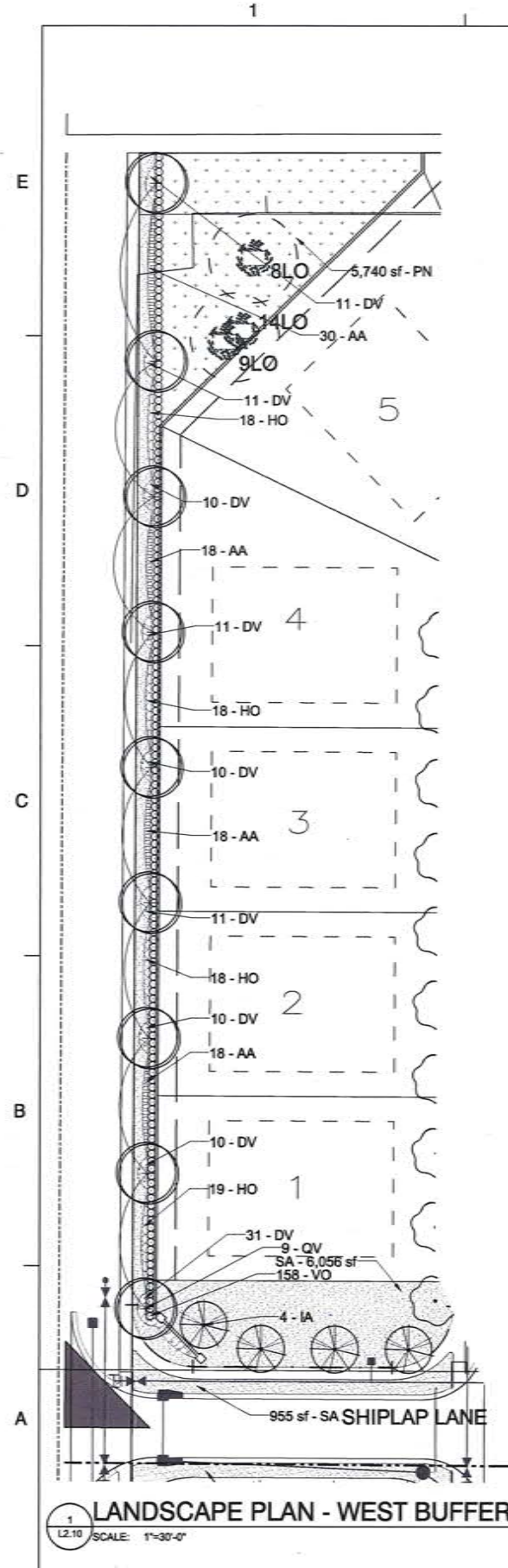
DRAWN BY _____ MU
 APPROVED BY _____ -
 CHECKED BY _____ MU
 DATE November 16, 2016

TITLE
LANDSCAPE PLAN

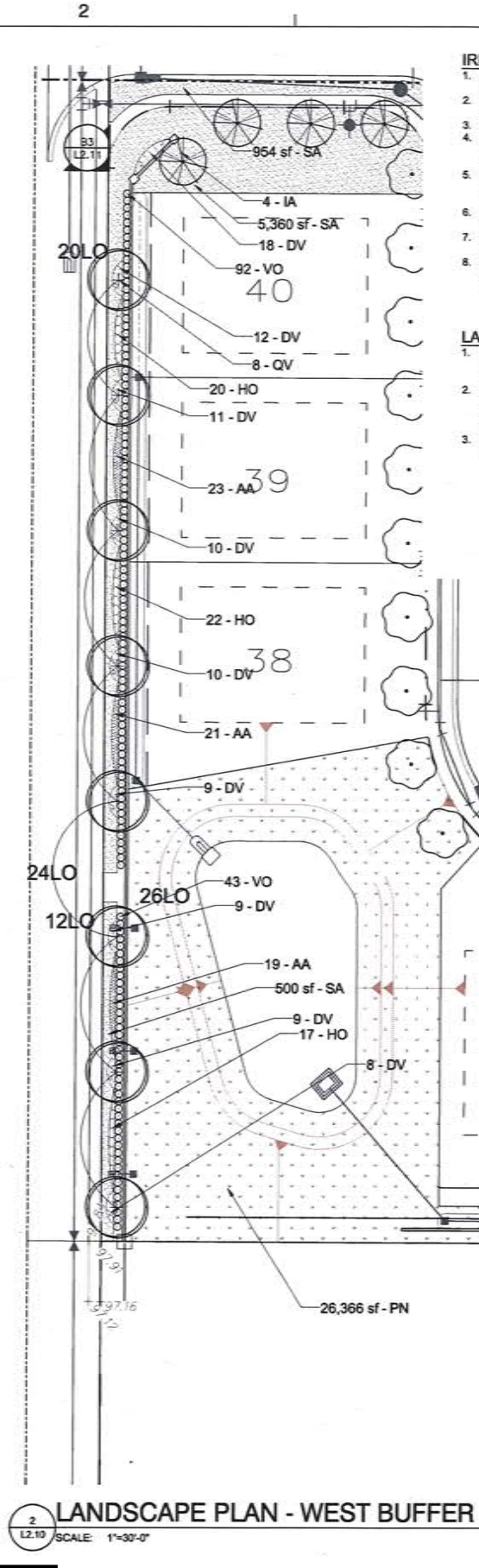
PROJECT NO. 50078026 [ROGR-1]

L2.10

SHEET NO.



1 LANDSCAPE PLAN - WEST BUFFER
L2.10 SCALE: 1"=30'-0"



2 LANDSCAPE PLAN - WEST BUFFER
L2.10 SCALE: 1"=30'-0"

- IRRIGATION NOTES:**
1. ALL PLANT WATER USE ZONES SHALL BE IRRIGATED SEPARATELY.
 2. TURF AREAS SHALL BE IRRIGATED WITH SPRAY HEADS AND SHALL BE IRRIGATED SEPARATELY FROM SHRUBS.
 3. TREES SHALL BE IRRIGATED SEPARATELY WITH BUBBLERS.
 4. ALL TURF, SHRUBS AND GROUND COVER AREAS SHALL BE IRRIGATED WITH AN UNDERGROUND SPRINKLER SYSTEM AND BE DESIGNED WITH 100% COVERAGE.
 5. EXISTING TREES TO REMAIN SHALL NOT BE IRRIGATED AND SHALL NOT HAVE ANY PIPING OR HEADS WITHIN THE ROOT PROTECTION ZONES.
 6. IRRIGATE ALL LANDSCAPED AREAS UP TO PROPERTY LINES, ROWS.
 7. FULL IRRIGATION DESIGN PLAN TO BE SUBMITTED WITH FINAL SITE PLAN SUBMITTAL.
 8. STREET TREES SHALL BE INSTALLED WHEN INDIVIDUAL LOTS ARE DEVELOPED. STREET TREES SHALL BE IRRIGATED AS PART OF LOT OWNERS IRRIGATION SYSTEM.

- LANDSCAPE NOTES:**
1. LANDSCAPE AND IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.
 2. STREET TREES ARE TO BE PLANTED IN A LANDSCAPE EASEMENT SHOWN ON THE PLAN. THE LANDSCAPE EASEMENT IS TO BE PLACED BEHIND THE UTILITY EASEMENT IN FRONT OF EACH PROPERTY.
 3. ALL SERVICE EQUIPMENT AND UTILITY BOXES MUST BE FULLY SCREENED.

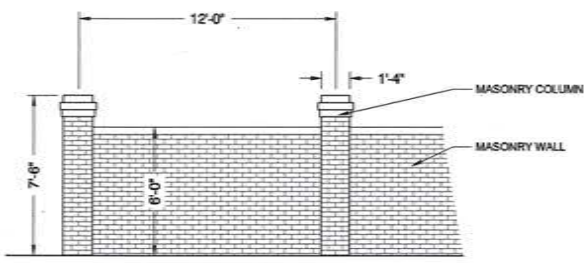
LANDSCAPE BUFFERS

WEST - ROGERS ROAD - 10' WIDTH - 11,000 SF

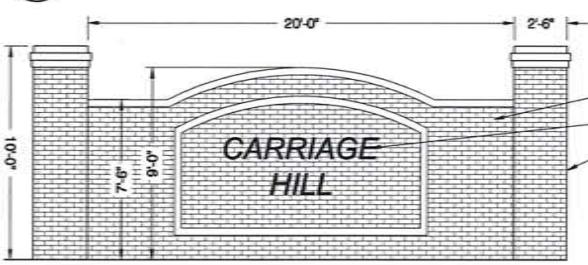
TREES REQUIRED	TREES PROVIDED	HEDGE REQUIRED	HEDGE PROVIDED	GROUND COVER REQUIRED	GROUND COVER PROVIDED
3.5" PER 1000 SF - 16 TREES	17 TREES	CONTINUOUS - 24" HT., 36" O.C.	CONTINUOUS	25% OF BUFFER AREA - 2,229 SF	4,791 SF

IRRIGATED TURF AREA:

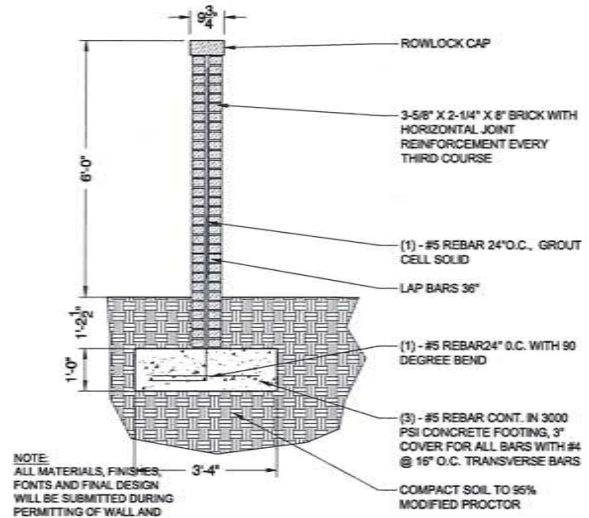
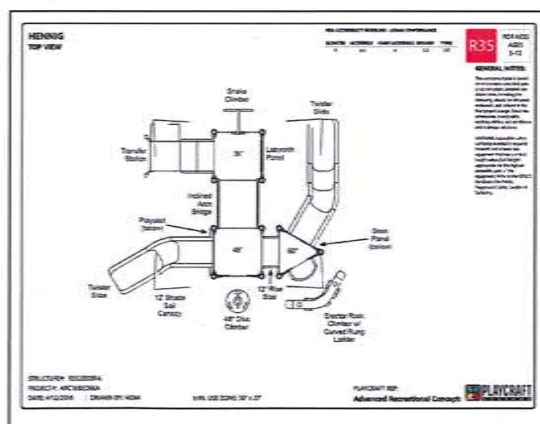
ST. AUGUSTINE	13,825 SF (32 ACRES)
BAHIA	49,344 SF



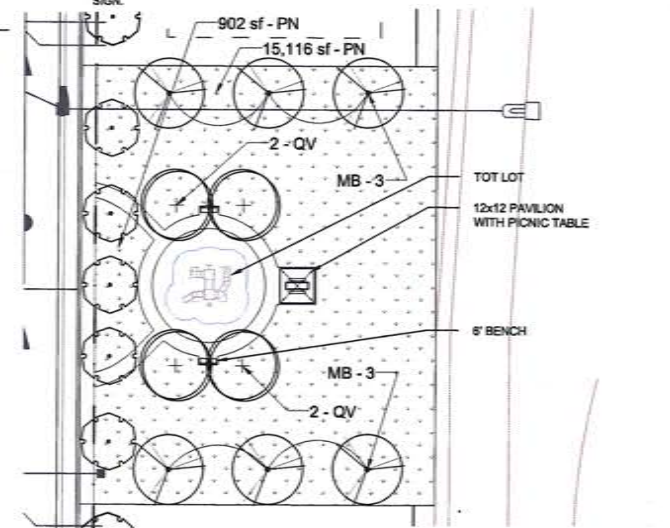
C3 BUFFER/LIFT STATION WALL ELEVATION
L2.11 SCALE: 1/4" = 1'-0"



B3 ENTRY SIGN ELEVATION
L2.11 SCALE: 1/4" = 1'-0"



C5 BUFFER/LIFT STATION WALL SECTION
L2.11 SCALE: 1/2" = 1'-0"



3 LANDSCAPE PLAN - PARK AREA
L2.10 SCALE: 1"=30'-0"

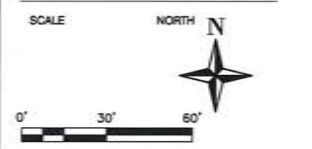


Dewberry Engineers Inc.
800 N MAGNOLIA AVE
SUITE 1000
ORLANDO, FL 32803
PHONE: 407.943.5100
ENGINEERING BUSINESS 4704

CARRIAGE HILL
(FKA ROGERS ROAD)
PRELIMINARY
DEVELOPMENT PLAN
JTD LAND AT ROGERS RD., LLC
APOPKA, FLORIDA

SEAL
Michael J. Lusk
FL #14144
Jun 05, 2017

KEY PLAN



No.	DATE	BY	Description

REVISIONS
DRAWN BY: MU
APPROVED BY: MU
CHECKED BY: MU
DATE: November 16, 2016

TITLE
LANDSCAPE PLAN

PROJECT NO. 50078026 [PROG-1]

L2.11

SHEET NO.

CARRIAGE HILL

SITUATED IN THE SOUTHWEST 1/4 OF SECTION 29,
TOWNSHIP 20 SOUTH, RANGE 28 EAST,
CITY OF APOPKA, ORANGE COUNTY, FLORIDA

GENERAL NOTES:

1. BEARINGS SHOWN HEREON ARE ASSUMED AND BASED ON THE SOUTH LINE OF THE SOUTHEAST 1/4 OF SECTION 22, TOWNSHIP 21 SOUTH, RANGE 28 EAST, AS BEING S89°49'53"E.
2. ALL CURVILINEAR LINES ARE RADIAL UNLESS OTHERWISE NOTED.
3. UNLESS OTHERWISE INDICATED, A UTILITY AND DRAINAGE EASEMENT BEING 10.00 FEET WIDE AT THE FRONT OF ALL LOTS AND TRACTS ABUTTING ROAD RIGHTS-OF-WAY IS HEREBY DEDICATED TO THE CITY OF APOPKA, AND PUBLIC UTILITY SERVICE PROVIDERS. THE CITY OF APOPKA AND PUBLIC UTILITY SERVICE PROVIDERS ARE RESPONSIBLE ONLY FOR THE MAINTENANCE OF THEIR RESPECTIVE UTILITIES PLACED WITHIN THE UTILITY EASEMENTS. THE FEE SIMPLE OWNER OF SAID LOTS AND/OR TRACTS SHALL BE RESPONSIBLE FOR THE GRASS AND LANDSCAPING WITHIN ALL UTILITY EASEMENTS LOCATED UPON INDIVIDUAL LOTS AND/OR TRACTS.
4. UNLESS OTHERWISE INDICATED A UTILITY AND DRAINAGE EASEMENT BEING 5 FEET WIDE ADJACENT TO ALL SIDE LOT LINES AND A 7.5 FEET WIDE ADJACENT TO ALL REAR LOT LINES IS HEREBY DEDICATED TO THE CITY OF APOPKA AND PUBLIC UTILITY SERVICE PROVIDERS. THE CITY OF APOPKA AND PUBLIC UTILITY SERVICE PROVIDERS ARE RESPONSIBLE ONLY FOR THE MAINTENANCE OF THEIR RESPECTIVE UTILITIES PLACED WITHIN THE UTILITY EASEMENTS. THE FEE SIMPLE OWNER OF SAID LOTS AND/OR TRACTS SHALL BE RESPONSIBLE FOR THE GRASS AND LANDSCAPING WITHIN ALL UTILITY EASEMENTS LOCATED UPON INDIVIDUAL LOTS AND/OR TRACTS.
5. A UTILITY, DRAINAGE, ACCESS, WALL AND SIDEWALK EASEMENT OVER TRACTS A, B, C, D, F, AND H IS HEREBY DEDICATED TO THE CITY OF APOPKA.
6. PURSUANT TO SECTION 177.091 (28), FLORIDA STATUTES, AS AMENDED; ALL PLATTED UTILITY EASEMENTS SHALL PROVIDE THAT SUCH EASEMENTS SHALL ALSO BE EASEMENTS FOR THE CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES; PROVIDED, HOWEVER, NO SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION OF CABLE TELEVISION SERVICES SHALL INTERFERE WITH THE FACILITIES AND SERVICES OF AN ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. IN THE EVENT A CABLE TELEVISION COMPANY DAMAGES THE FACILITIES OF A PUBLIC UTILITY, IT SHALL BE SOLELY RESPONSIBLE FOR THE DAMAGES. THIS SECTION SHALL NOT APPLY TO THOSE PRIVATE EASEMENTS GRANTED TO OR OBTAINED BY A PARTICULAR ELECTRIC, TELEPHONE, GAS, OR OTHER PUBLIC UTILITY. SUCH CONSTRUCTION, INSTALLATION, MAINTENANCE, AND OPERATION SHALL COMPLY WITH THE NATIONAL ELECTRICAL SAFETY CODE AS ADOPTED BY THE FLORIDA PUBLIC SERVICE COMMISSION.
7. THE PROPERTY SHOWN HEREON IS SUBJECT TO THE TERMS AND CONDITIONS OF THAT CERTAIN DECLARATION OF CODE, COVENANTS, CONDITIONS, EASEMENTS AND RESTRICTIONS FOR CARRIAGE HILL AND ALL EXHIBITS THERETO SHALL BE APPROVED BY THE CITY OF APOPKA, ORANGE COUNTY, FLORIDA, WHICH IS RECORDED IN OFFICIAL RECORDS BOOK _____, PAGE _____, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.
8. TRACT A (OPEN SPACE/BUFFER/DRAINAGE), TRACT B (OPEN SPACE/BUFFER), TRACT C (PARK/RECREATION), TRACT D (POND/DRAINAGE), AND TRACT G (OPEN SPACE) ARE HEREBY GRANTED TO AND SHALL BE MAINTAINED BY THE CARRIAGE HILL HOMEOWNERS ASSOCIATION, INC.
9. TRACT E (WETLAND/WETLAND BUFFER) IS HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.
10. TRACT G (LIFT STATION) AND THE 5.00 FOOT WIDE UTILITY EASEMENT (U.E.) ADJACENT TO TRACT G ARE HEREBY DEDICATED TO THE CITY OF APOPKA. TRACT G SHALL BE MAINTAINED BY THE CITY OF APOPKA. THE 5.00 U.E. SHALL BE MAINTAINED BY THE CARRIAGE HILL HOMEOWNERS ASSOCIATION, INC.
11. ALL DEVELOPMENT SHALL BE IN ACCORDANCE WITH AND SUBJECT TO THE CITY OF APOPKA LAND DEVELOPMENT CODE, AS AMENDED FROM TIME TO TIME, AND ALL FEDERAL, STATE, COUNTY AND CITY RULES, REGULATIONS, ORDINANCES, PROVISIONS AND APPROVALS. NOTHING THEREIN SHALL BE CONSTRUED TO WAIVE ANY PROVISION OF THE APOPKA LAND DEVELOPMENT CODE.
12. SUBJECT PROPERTY CONTAINS: 71 RESIDENTIAL LOTS
13. THE 7.50 FOOT WIDE DRAINAGE, UTILITY, AND WALL EASEMENTS (D.U.W.E.) ARE HEREBY DEDICATED TO THE CITY OF APOPKA AND MAINTAINED BY THE INDIVIDUAL LOT OWNER.
14. THE 10.00' ACCESS EASEMENT IN TRACTS D AND F ARE HEREBY DEDICATED TO THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

DESCRIPTION:

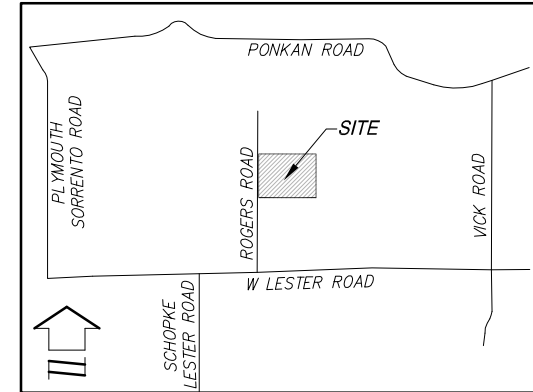
A PORTION OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SECTION 29, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; THENCE N89°54'35"E, ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SAID SECTION 29, A DISTANCE OF 30.00 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF ROGERS ROAD AS DESCRIBED IN OFFICIAL RECORDS BOOK 1803, PAGE 779, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA AND THE POINT OF BEGINNING; THENCE CONTINUE ALONG SAID NORTH LINE, N89°54'35"E, A DISTANCE OF 1321.79 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SAID SECTION 29; THENCE S00°18'12"W, ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29, A DISTANCE OF 1012.64 FEET TO A POINT ON THE SOUTH LINE OF THOSE CERTAIN LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3073, PAGE 249, OF AFORESAID PUBLIC RECORDS; SAID POINT ALSO LYING ON THE NORTH LINE OF LESTER RIDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 79, PAGES 111-114, SAID PUBLIC RECORDS; THENCE N89°43'26"W, ALONG SAID SOUTH LINE, A DISTANCE OF 675.27 FEET TO THE MIDPOINT BETWEEN THE EAST LINE AND THE WEST LINE OF THE NORTH 3/4 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SAID SECTION 29; THENCE CONTINUE N89°43'26"W, ALONG SAID SOUTH LINE, A DISTANCE OF 645.27 FEET TO A POINT ON THE EAST RIGHT-OF-WAY LINE OF AFORESAID ROGERS ROAD; THENCE N00°13'59"E, ALONG SAID EAST LINE, A DISTANCE OF 1004.18 FEET TO THE POINT OF BEGINNING.

SAID LANDS CONTAINING 1,332,257 SQUARE FEET OR 30.58 ACRES, MORE OR LESS.

LEGEND AND ABBREVIATIONS:

±	MORE OR LESS	PCM	POURED CONCRETE MONUMENT
CB	CHORD BEARING	PCP	PERMANENT CONTROL POINT
CCR	CERTIFIED CORNER RECORD	PG(S)	PAGE/PAGES
CH	CHORD DISTANCE	PI	POINT OF INTERSECTION
CL	CENTER LINE	PLS	PROFESSIONAL LAND SURVEYOR
CM	CONCRETE MONUMENT	PRC	POINT OF REVERSE CURVATURE
DB	DEED BOOK	PRM	PERMANENT REFERENCE MONUMENT
D.E.	DRAINAGE EASEMENT	PSM	PROFESSIONAL SURVEYOR MAPPER
D.U.E.	DRAINAGE & UTILITY EASEMENT	PT	POINT OF TANGENCY
FND	FOUND	R	RADIUS
ID	IDENTIFICATION	(R)	RADIAL
IP	IRON PIPE	RR	RAILROAD
IPC	IRON PIPE & CAP	R/W	RIGHT OF WAY
IR	IRON ROD	RCP	REINFORCED CONCRETE PIPE
IRC	IRON ROD & CAP	SEC	SECTION
L	ARC LENGTH	U.E.	UTILITY EASEMENT
L.E.	LANDSCAPE EASEMENT	U.D.E.	UTILITY & DRAINAGE EASEMENT
LB	LICENSED BUSINESS	(TYP)	TYPICAL
M.E.	MAINTENANCE EASEMENT	△	CENTRAL ANGLE
N/D	NAIL & DISK	— —	BREAK LINE
NO.	NUMBER	■	SET 4"x4" CM (LB 8011)
(NR)	NON-RADIAL	□	FOUND 4"x4" CM (AS NOTED)
OOCEA	ORLANDO ORANGE COUNTY EXPRESSWAY AUTHORITY	○	SET N/D (LB 8011)
	OFFICIAL RECORDS BOOK	○	FOUND N/D (AS NOTED)
ORB	OFFICIAL RECORDS BOOK	○	SET 5/8" IRC (LB 8011)
(P)	PLAT	○	FOUND IRON ROD (AS NOTED)
P.B.	PLAT BOOK	○	FOUND IRON PIPE (AS NOTED)
PC	POINT OF CURVATURE	○	FOUND RAIL ROAD SPIKE (AS NOTED)



VICINITY MAP
(NOT TO SCALE)

SHEET INDEX
SHEET 1: DEDICATION,
NOTES, LEGEND,
DESCRIPTION
SHEET 2: DETAIL SHEET

NOTICE
THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT.

THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

**CERTIFICATE OF APPROVAL
BY MUNICIPALITY**

THIS IS TO CERTIFY, THAT ON _____, 2017, THE FOREGOING PLAT WAS APPROVED BY THE BOARD OF CITY COMMISSIONERS OF THE CITY OF APOPKA, FLORIDA.

MAYOR: _____

ATTEST: _____

BY: _____ D.C.

PLAT BOOK : PAGE:

CARRIAGE HILL

DEDICATION

KNOW ALL MEN BY THESE PRESENTS, THAT JTD LAND AT ROGERS RD., LLC, A FLORIDA LIMITED LIABILITY COMPANY, BEING THE OWNERS IN FEE SIMPLE OF THE LANDS DESCRIBED IN THE FOREGOING CAPTION TO THIS PLAT, HEREBY DEDICATE SAID LANDS AND PLAT FOR THE USES AND PURPOSES THEREIN EXPRESSED AND DEDICATE THE STREETS, SIDEWALK EASEMENTS, UTILITY EASEMENTS, DRAINAGE EASEMENTS (UNLESS OTHERWISE NOTED), SHOWN HEREON (TO THE EXTENT SUCH EASEMENTS ARE NOT SHOWN HEREON AS PRIVATE EASEMENTS) TO THE PERPETUAL USE OF THE PUBLIC; TRACT G (LIFT STATION) AND THE 5.00 FOOT WIDE UTILITY EASEMENT (U.E.) ADJACENT TO TRACT G ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE CITY OF APOPKA; TRACT E (WETLAND/WETLAND BUFFER) ARE HEREBY DEDICATED TO AND SHALL BE MAINTAINED BY THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT.

IN WITNESS WHEREOF, THE OWNERS HAVE CAUSED THESE PRESENTS TO BE SIGNED BY THE OFFICERS NAMED BELOW ON _____, A.D. 2017.

BY: JTD LAND AT ROGERS RD., LLC, A FLORIDA LIMITED LIABILITY COMPANY

NAME: CRAIG C. HARRIS _____

SIGNED: _____ TITLE: MANAGER

SIGNED, SEALED AND DELIVERED IN THE PRESENCE OF:

WITNESS (SIGNATURE) _____ WITNESS (PRINTED) _____

WITNESS (SIGNATURE) _____ WITNESS (PRINTED) _____

STATE OF FLORIDA, COUNTY OF _____

THIS IS TO CERTIFY, THAT ON _____, 2017, BEFORE ME AN OFFICER DULY AUTHORIZED TO TAKE ACKNOWLEDGEMENTS IN THE STATE AND COUNTY AFORESAID PERSONALLY APPEARED CRAIG C. HARRIS, AS MANAGER OF JTD LAND AT ROGERS RD., LLC, A FLORIDA LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY. HE/SHE IS PERSONALLY KNOWN TO ME OR PRODUCED AS IDENTIFICATION AND DID/DID NOT TAKE AN OATH.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND AND SEAL ON THE ABOVE DATE.

SIGNATURE OF NOTARY

NOTARY PRINTED NAME

**CERTIFICATE OF APPROVAL
BY CITY ENGINEER**

EXAMINED AND APPROVED: _____

CITY ENGINEER _____ DATE _____

**QUALIFICATION STATEMENT
OF SURVEYOR AND MAPPER**

KNOW ALL MEN BY THESE PRESENTS, THAT THE UNDERSIGNED BEING A PROFESSIONAL SURVEYOR AND MAPPER HAS PREPARED THE FOREGOING PLAT AND IT WAS MADE UNDER MY DIRECTION AND SUPERVISION; AND THAT THIS PLAT COMPLIES WITH ALL OF THE SURVEY REQUIREMENTS AS REQUIRED BY CHAPTER 177, FLORIDA STATUTES; AND THAT SAID LAND IS LOCATED IN ORANGE COUNTY, FLORIDA.

THOMAS R. CAMDEN _____ DATE _____
FLORIDA REGISTRATION NUMBER: 7078
DEWBERRY _____ (SEAL)
131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
CERTIFICATE OF AUTHORIZATION NUMBER LB 8011

**CERTIFICATE OF APPROVAL
BY APOPKA PLANNING COMMISSION**

EXAMINED AND APPROVED: _____

DIRECTOR OF PLANNING COMMISSION _____ DATE _____

**CERTIFICATE OF REVIEW
BY CITY SURVEYOR**

THIS PLAT HAS BEEN REVIEWED FOR CONFORMITY WITH CHAPTER 177, FLORIDA STATUTES.

CITY SURVEYOR'S _____ DATE _____
FLORIDA REGISTRATION NUMBER: _____

CERTIFICATE OF COUNTY COMPTROLLER

I HEREBY CERTIFY THAT THE FOREGOING PLAT WAS RECORDED IN THE ORANGE COUNTY OFFICIAL RECORDS ON _____, 2017, AS FILE NO. _____

COUNTY COMPTROLLER IN AND FOR ORANGE COUNTY, FLORIDA

BY: _____

Drawing name: S:\Thridge Property\JTD\Plotting\Carrige Hill_surplat.dwg Sheet 1 May 12, 2017 1:12pm by: tcamden

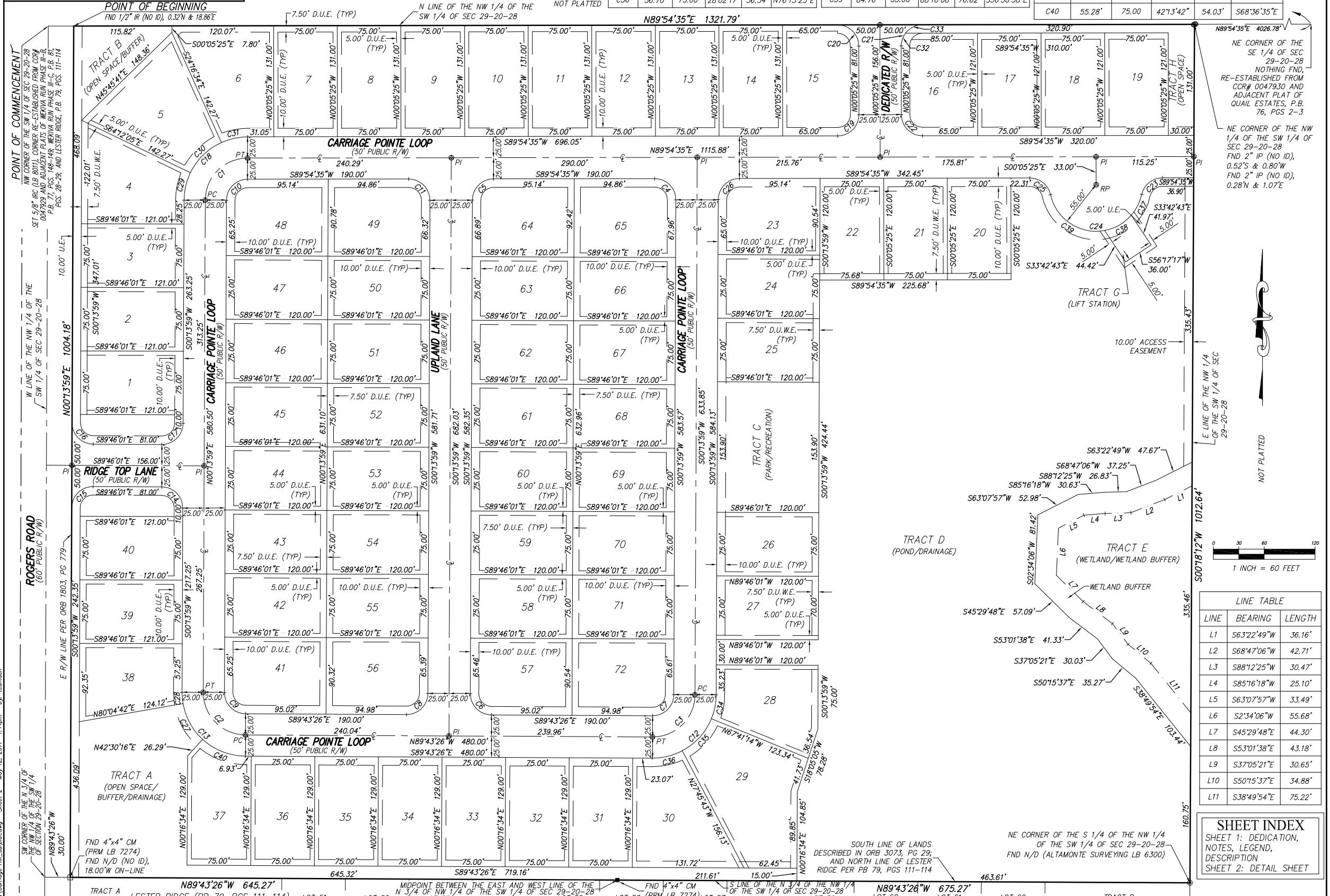
Dewberry 14

131 WEST KALEY STREET
ORLANDO, FLORIDA 32806
PHONE: 321.354.9826 FAX: 407.648.9104
WWW.DEWBERRY.COM
CERTIFICATE OF AUTHORIZATION NO. LB 8011

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C34	28.90'	75.00'	22°04'47"	28.72'
C35	52.26'	75.00'	39°55'31"	51.21'
C36	36.70'	75.00'	28°02'17"	36.34'

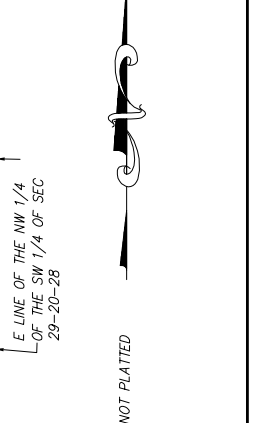
CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C37	27.70'	55.00'	28°51'40"	27.41'
C38	36.76'	55.00'	38°17'56"	36.08'
C39	84.76'	55.00'	88°18'08"	76.62'

CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD
C40	55.28'	75.00'	42°13'42"	54.03'



NE CORNER OF THE SE 1/4 OF SEC 29-20-28 NOTHING FND. RE-ESTABLISHED FROM COR# 0047930 AND ADJACENT PLAT OF QUAIL ESTATES, P.B. 76, PGS 2-3

NE CORNER OF THE NW 1/4 OF THE SW 1/4 OF SEC 29-20-28 FND 2" IP (NO ID), 0.52'S & 0.80"W FND 2" IP (NO ID), 0.28'N & 1.07'E



LINE TABLE		
LINE	BEARING	LENGTH
L1	S63°22'49"W	36.16'
L2	S68°47'06"W	42.71'
L3	S88°12'25"W	30.47'
L4	S85°16'18"W	25.10'
L5	S63°07'57"W	33.49'
L6	S2°34'06"W	55.68'
L7	S45°29'48"E	44.30'
L8	S53°01'38"E	43.18'
L9	S37°05'21"E	30.65'
L10	S50°15'37"E	34.88'
L11	S38°49'54"E	75.22'

SHEET INDEX		
SHEET	DESCRIPTION	
SHEET 1:	DEDICATION, NOTES, LEGEND, DESCRIPTION	
SHEET 2:	DETAIL SHEET	

CURVE TABLE					CURVE TABLE					CURVE TABLE					CURVE TABLE					CURVE TABLE					CURVE TABLE				
CURVE	LENGTH	RADIUS	DELTA	CHORD	CURVE	LENGTH	RADIUS	DELTA	CHORD	CURVE	LENGTH	RADIUS	DELTA	CHORD	CURVE	LENGTH	RADIUS	DELTA	CHORD	CURVE	LENGTH	RADIUS	DELTA	CHORD	CURVE	LENGTH	RADIUS	DELTA	CHORD
C1	78.26'	50.00'	89°40'35"	70.51'	C7	39.29'	25.00'	90°02'35"	35.37'	C13	117.75'	75.00'	89°57'25"	106.03'	C19	39.27'	25.00'	90°00'00"	35.36'	C25	33.92'	25.00'	77°43'52"	31.37'	C31	31.66'	75.00'	24°11'09"	31.42'
C2	78.50'	50.00'	89°57'25"	70.68'	C8	29'	25.00'	90°02'35"	35.37'	C14	39.27'	25.00'	90°00'00"	35.36'	C20	39.27'	25.00'	90°00'00"	35.36'	C26	39.13'	25.00'	89°40'35"	35.26'	C32	16.09'	25.00'	36°52'12"	15.81'
C3	78.58'	50.00'	90°02'35"	70.74'	C9	25'	25.00'	89°57'25"	35.34'	C15	39.27'	25.00'	90°00'00"	35.36'	C21	39.27'	25.00'	90°00'00"	35.36'	C27	49.18'	75.00'	37°34'27"	48.31'	C33	23.18'	25.00'	53°07'48"	22.36'
C4	39.41'	25.00'	90°19'25"	35.46'	C10	39.13'	25.00'	89°40'35"	35.26'	C16	39.27'	25.00'	90°00'00"	35.36'	C22	39.27'	25.00'	90°00'00"	35.36'	C28	13.29'	75.00'	10°09'17"	13.28'					
C5	39.13'	25.00'	89°40'35"	35.26'	C11	39.41'	25.00'	90°19'25"	35.46'	C17	39.27'	25.00'	90°00'00"	35.36'	C23	33.92'	25.00'	77°43'52"	31.37'	C29	33.47'	75.00'	25°33'56"	33.19'					
C6	39.25'	25.00'	89°57'25"	35.34'	C12	117.87'	75.00'	90°02'35"	106.11'	C18	117.39'	75.00'	89°40'35"	105.77'	C24	149.23'	55.00'	155°27'44"	107.49'	C30	52.26'	75.00'	39°55'31"	51.21'					

Backup material for agenda item:

1. COMPREHENSIVE PLAN – LARGE SCALE - FUTURE LAND USE AMENDMENT – From Parks & Recreation to Residential Medium (0-10 du/ac); Residential High (0-15 du/ac); and Commercial (Max 0.25 FAR) for the property owned by Errol Club Villas Condo Assoc. Inc.; 5th Hole Investments; Errol Estate Country Club LTD; Errol Estate Management; Lexington Homes; and the City of Apopka generally located north of Lake Marion Drive and Lexington Parkway, south of Lester Road, east of Schopke Lester Road, and west of Vick Road.



CITY OF APOPKA PLANNING COMMISSION

- PUBLIC HEARING
- SITE PLAN
- SPECIAL REPORT
- OTHER:

MEETING OF: July 25, 2017
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Future Land Use Map
 Adjacent Zoning Map
 Existing Uses Map
 Proposed FLUM Map*
 Supporting Data & Analysis Report*
 New Errol Master Plan
**Provided by the Applicant*

SUBJECT: COMPREHENSIVE PLAN – LARGE SCALE - FUTURE LAND USE AMENDMENT

PARCEL ID NUMBERS: 20-21-28-0000-00-021;-024;-025

Request: LARGE SCALE - FUTURE LAND USE AMENDMENT
FROM: PARK & RECREATION
TO: RESIDENTIAL MEDIUM (0-10 DU/AC);
 RESIDENTIAL HIGH (0-15 DU/AC); &
 COMMERCIAL (MAX 0.25 FAR)

SUMMARY

PROPERTY OWNERS: Errol Club Villas Condo Assoc. Inc.; 5th Hole Investments; Errol Estate Country Club LTD; Errol Estate Management; Lexington Homes; City of Apopka.

APPLICANT: Signature H Property Group

CONSULTING PLANNER: GAI Consultants

LOCATION: Parcel Numbers: 32-20-28-0000-00-001;-003;-008 & 32-20-28-0000-00-004 Portion)

EXISTING USE: Golf Course and Club House

CURRENT ZONING: Park & Recreation

PROPOSED DEVELOPMENT: Single family, townhomes, assisted living facility, community parks, commercial amenities complex with hotel, restaurant, aquatic park, and recreation facilities

PROPOSED ZONING: Planned Unit Development

DISTRIBUTION:

Mayor Kilsheimer
 Commissioners (4)
 City Administrator Irby
 Community Dev. Director

Finance Director
 HR Director
 IT Director
 Police C

Public Ser. Director
 City Clerk
 Fire Chief
 Recreation Director

SUMMARY (Continued)

TRACT SIZE: 79.09 +/- acres

MAXIMUM ALLOWABLE
DEVELOPMENT:

EXISTING: Golf course and Club House

PROPOSED: Up to 400 du (67 single family, 194 townhome and 139 multi-family), commercial amenity complex with hotel, restaurant, aquatic park, and recreation facilities; or up to 261 du (67 single family, 194 townhome), commercial amenity complex with hotel, restaurant, aquatic park, and recreation facilities; 240 bed assisted living facility

ADDITIONAL COMMENTS:

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is compatible with the character of the surrounding area, is within close proximity to the SR 429/Ocoee Apopka Road interchange, and is consistent with the Mixed Use Land Use designation. City planning staff supports the FLUM amendment given the consistency with the Comprehensive Plan policies listed below and the intent of the Ocoee Apopka Road Small Area Study (see Land Use Analysis below). Site development cannot exceed the intensity allowed by the Future Land Use policies.

Future Land Use Element

1. **Policy 3.2** Development and redevelopment shall be integrated with the adjacent land uses through: (1) the creation of like uses; or (2) creation of complementary uses; or (3) mitigation of adverse impacts.

The proposed use for the subject properties as mixed use residential/non-residential development is consistent with the current and future proposed development of the surrounding area as recommended by Planning staff in the Recommendations below.

Transportation Element

1. **Policy 4.2** The City of Apopka shall promote, through the implementation of programs such as mixed-use land development, projects that support reduced travel demand, shorter trip lengths and balanced trip demand.

VISIONING AND SPECIAL STUDIES: The New Errol project has a proposed master plan as provided with the supporting documents.

SCHOOL CAPACITY REPORT: An executed capacity enhancement agreement with Orange County Public Schools will be required prior to adoption of the future land use amendment.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on December 9, 2016.

PUBLIC HEARING SCHEDULE:

July 25, 2017 – Planning Commission (6:30 pm)

August 22, 2017 – City Council (5:30 pm) - 1st Reading & Transmittal

DULY ADVERTISED:

July 7 and 14, 2017 – Public Notice and Notification
TBD – Ordinance Heading & Public Notice ¼ Page Ad w/Map

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval as provided below:

The applicant proposed Future Land Use Designations that allow higher densities than that which are proposed within the proposed Master Plan. Thus, the master plan demonstrates a more suitable density for the proposed development sites. Further, compatibility of the proposed FLUM designations, as recommended by planning staff below, with adjacent and surrounding areas must be further demonstrated through buffer and screen techniques, land use design, and development standards. As these remain incomplete in the Master Plan, the applicant may be able to demonstrate potential for compatibility through modifications to the Master Plan. Staff is recommending to transmit the proposed FLUM amendments, as shown below, to State agencies.

Recommended Motion: Recommend to transmit the proposed Future Land Use Map amendments for New Errol to State agencies as follows:

1. Neighborhood “A”: Residential Low Suburban (0 – 3.5 du/ac)
2. Neighborhood “B”: B-1 – Commercial;
B-2 – Residential Medium Density (0 -10 du/ac)
3. Neighborhood “C”: Residential Medium Low (up to 7.5 du/ac)
4. Neighborhood “D”: Residential Medium Low (up to 7.5 du/ac)
5. Neighborhood “E”: Neighborhood E South: Residential Low Suburban (up to 3.5 du/ac)
Neighborhood E North: Residential Low (up to 5 du/ac) for Neighborhood E South.
6. Neighborhood “F”: Neighborhood F South: Residential Low (up to 5 du/ac)
Neighborhood F North: Residential Medium Low (up to 7.5 du/ac)
7. Neighborhood “G”: Residential Medium Low Density (Up to 7.5 du/ac) (with interpretation of Policy 3.1.f that institutional uses of 10 acres or less are allowed under PUD zoning and that an assisted living type facility may be deemed a compatible land use through PUD zoning.
8. A master plan under PUD zoning and a development agreement demonstrate that each of the proposed FLUM amendments are compatible with surrounding and abutting residential uses through appropriate buffer and screen techniques, height restrictions, other applicable and appropriate performance standards, and management of compatible and complementary land uses allowed or prohibited within each “Neighborhood” zone.

Note: This item is considered legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. LAND USE ANALYSIS

1. Neighborhood “A”

FLUM Request: Residential Medium Density (0 -10 du\ace)

Master Plan Proposed Density: 5.35 du\ac

Surrounding Character\Findings: Larger lot single family residential straddles west, north, and east perimeter with a Residential Low FLUM abutting the west and north, and Residential Medium FLUM abutting the east. Amenity Area (Neighborhood B-1) to the south.

Recommendation:

Residential Low Suburban (0 – 3.5 du/ac); transmit to FDEO; at FLUM adoption hearing if PUD Master Plan demonstrates compatibility with abutting single family areas than Residential Medium Low Density (0 – 7.5 du\ac) recommended. Master Plan must demonstrate that buffer width and screen type adequate to screen third floor view into rear yards of abutting single family homes; vehicle and outdoor lighting will not encroach abutting single family properties; and the buffer screen type will block view of Neighborhood “A” street\alley and garages from abutting single family homes. Master Plan and Development Agreement demonstrate permitted and prohibited uses proposed for Neighborhood “A” are compatible with abutting single family homes. If Master Plan and Development Agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny Residential Low Suburban at adoption hearing.

2. Neighborhood “B”

FLUM Request: B-1 – Commercial; B-2 Residential Medium Density (0 -10 du\ace)

Master Plan Proposed Density: B-2 -- 7.5 du\ac

Master Plan Proposed Max. FAR: not provided.

Surrounding Character\Findings: Existing single family neighborhoods (RL and RM) and to the east and southwest; townhome and golf course surrounding remainder.

Recommendations:

Neighborhood B-1 – Residential Medium Low. Proposed density of 7.5 du\ac is consistent with the RML FLUM designation. Large-lot single family homes abut or are near the B-1 area. Master Plan must demonstrate that buffer width and screen type adequate to screen third floor view into rear yards of abutting single family homes; vehicle and outdoor lighting will not encroach abutting single family properties; and the buffer screen type will block view of Neighborhood “B-1” street\alley and garages from abutting single family homes. Must demonstrate permitted and prohibited uses within the PUD Master Plan and development agreement for Neighborhood “B-1” are compatible with abutting single family homes. If Master Plan and development agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny Residential Medium Low at adoption hearing.

Neighborhood B-2 -- Commercial Land Use; transmit to FDEO; at FLUM adoption hearing if PUD Master Plan demonstrates compatibility with abutting and nearby residential uses and FLUM designations, Commercial can be recommended. Must demonstrate that buffer width and screen type adequate to for abutting residential areas; vehicle and outdoor lighting will not encroach abutting single family properties; Commercial uses limited to the Must demonstrate permitted and prohibited uses within the PUD Master Plan and development agreement for Neighborhood “A” are compatible with abutting and nearby residential. If Master Plan and development agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny Commercial FLUM de

3. Neighborhood “C”

FLUM Request: Residential Medium Density (up to 10 du\ac)

Master Plan Proposed Density: 7.1 du\ac

Surrounding Character\Findings: Existing single family homes border to the north; townhomes to the south, proposed Neighborhood B-1 community to the northwest. Golf course to the east.

Recommendation: Residential Medium Low (up to 7.5 du\ac)

Proposed density of 7.1 du\ac is consistent with the Residential Medium Low FLUM designation. Single family homes abut the northern boundary of Neighborhood C. Street direct light beam from vehicles into existing homes. Master Plan demonstrate that buffer width and screen type adequate to screen townhomes from single family homes; vehicle and outdoor lighting will not encroach abutting single family properties; opaque buffer screen must block vehicle lights from shining into existing single family homes. Master Plan and development agreement must demonstrate permitted and prohibited uses within the PUD Master Plan and development agreement for Neighborhood “C” are compatible with abutting single family homes. If Master Plan and development agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny Residential Medium Low at adoption hearing.

4. Neighborhood “D”

FLUM Request: Residential Medium Density (up to 10 du\ac)

Master Plan Proposed Density: 5.3 du\ac

Surrounding Character\Findings: Golf course.

Recommendation: Residential Medium Low (up to 7.5 du\ac)

Proposed density of 5.31 du\ac is consistent with the RML FLUM designation. Existing golf course surrounds Neighborhood “D”.

5. Neighborhood “E”

FLUM Request: Residential Medium Density (up to 10 du\ac)

Master Plan Proposed Density: 3.24 du\ac

Surrounding Character\Findings: Single family homes abut the northern and southern boundary of Neighborhood E. Vick Road borders to the east.

Recommendation: Residential Low Suburban (up to 3.5 du\ac) for Neighborhood “E” South, and Residential Low (up to 5 du\ac) for Neighborhood “E” North. Master Plan must demonstrate buffer type along Vick Road sufficient to mitigate light and noise from Vick Road. Master Plan and development agreement must demonstrate permitted and prohibited uses within the PUD Master Plan and development agreement for Neighborhood “E” are compatible with abutting single family homes. If a Master Plan and development agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny Residential Low Suburban and Residential Low at adoption hearing.

6. Neighborhood “F”

FLUM Request: Residential Medium Density (up to 10 du\ac)

Master Plan Proposed Density: 4.67 du\ac

Surrounding Character\Findings: Existing single family homes border to the north and south. Townhomes to the south.

Recommendation: Residential Medium Low (up to 7.5 du\ac) for Neighborhood “F” North and Residential Low for Neighborhood “F” South.

Proposed density of 4.65 du\ac is consistent with the Residential Low FLUM designation. However, Residential Medium Low necessary for townhomes or duplex. Street alignment directs light beam from vehicles into existing homes for the eastern and western streets\allies within northern Neighborhood “F”. Master Plan must demonstrate that buffer width and screen type adequate to screen townhomes from single family homes; vehicle and outdoor lighting will not encroach abutting single family properties; opaque buffer screen must block vehicle lights from shining into existing single family homes. Master Plan and development agreement must demonstrate permitted and prohibited uses within the PUD Master Plan and development agreement for Neighborhood “F” are compatible with abutting single family homes. If Master Plan and development agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny Residential Medium Low and Residential Low at adoption hearing.

7. Neighborhood “G” [ALF]

FLUM Request: Residential High Density (up to 15 du\ac)

Master Plan Proposed Density: 15 du\ac

Surrounding Character\Findings: Existing single family homes border to the north and south. Future planned multi-family to the east and a development application has been submitted to the City; golf course to the west.

Recommendation: Residential Medium Low Density (Up to 7.5 du\ac). Applicant proposes a 240 bed assisted living facility. Residential high density will allow for a maximum of 209 residential units.

High Density Residential allows up to 15 units per acres and permits apartments or townhomes. With established single family residential homes to the north and south, and Medium Density Residential Density (up to 10 un\ac) established on the parcel abutting to the east, a transition density of up to 7.5 units per acre is appropriate. Whether assigned the HDR or MLDR FLUM designation, permissible uses allowed under a PUD zoning include “other uses deemed compatible with and complementary to the other proposed master planned uses and the surrounding neighborhoods. MLDR will allow a maximum of 104 residential units.

An assisted living facility, as proposed in the Master Plan, may be compatible as an “other use” if demonstrated through development standards in the Master Plan that development impacts are mitigated through appropriate buffering and screening of single family residential areas that abut to the north and south. If an ALF is not market feasible at this location, the residential development would be allowed as single family or townhome development under MLDR. The permissible residential uses and related design standards will be controlled through a development agreement as well as through the PUD Master Plan.

Street, driveway and parking stall alignment directs light beam from vehicles into existing homes for the existing established residential neighborhoods to the north. A PUD master plan and development agreement must demonstrate that: buffer width and screen type are adequate to screen ALF and townhomes from single family home neighborhood; vehicle and outdoor lighting will not encroach abutting single family properties; opaque buffer screen must block vehicle lights from shining into existing single family homes; dumpster facilities and loading docks located furthest away and screened from single family neighborhoods; line of sight should demonstrate that buffer and screen techniques keep single family homes secluded from the ALF building or building height\stories reduced; parking permitted and prohibited uses within the PUD Master Plan and development agreement for Neighborhood “G” are compatible with abutting single family homes.

If Master Plan and development agreement fail to demonstrate compatibility and protection of health, safety and welfare to abutting properties, then recommendation to deny MLDR at adoption hearing.

Special Areas:

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within the “Core” area of the JPA.

Transportation: A transportation impact study was prepared for the proposed future land use amendment, and was found acceptable by the City’s transportation consultant.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that the majority of the area affected by the FLUM amendment with an area with karst features.

Analysis of the character of the Property: The current use of the properties are for a golf course and an accessory club house. Significant portions of the proposed development sites are already cleared and developed as golf course, parking, club house, stormwater retention, open space at the perimeter of the golf course, or other associated uses. The dominant soil, Cander Fine Sand, has a 5-12 percent slope.

Analysis of the relationship of the amendment to the population projections: These properties were annexed into the City on December 5, 2001. Based on the adoption of the JPA, the size of the property, and the proposed land use change, the amendment will increase the population if developed.

POPULATION AND HOUSING:

PROPOSED: 400 x 2.659 p/h = 1,064 persons
261 x 2.656 p/h = 694 persons

Housing Needs: This amendment is to change the future land use to a future land use designation that permits residential uses, and will increase the number of available housing units in the City of Apopka. Additional housing will meet additional population growth needs, especially with increased demands caused by opening of Wekiva Parkway anticipated for 2021.

Habitat for species listed as endangered, threatened or of special concern: A habitat study is required for developments greater than ten (10) acres in size. At the time the final development plan is submitted to the City, the development applicant must conduct a species survey and submit a habitat management plan if any threatened or endangered species are identified within the project site.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS 24 LOS standard: City; 81 GPCD; 81 GPD

2. Capacity available: Yes
3. Projected LOS under existing designation: 81 GPD/Capita
4. Projected LOS under proposed designation: 81 GPD/Capita
5. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. City facilities serving the site; current LOS; and LOS standard: None; 177 GPCD; 177 GPD
2. Capacity available: Yes
3. Projected LOS under existing designation: 177 GPCD
4. Projected LOS under proposed designation: 177 GPCD
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None
6. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. Provider: City of Apopka
3. Projected LOS under existing designation: 4 lbs./person/day
4. Projected LOS under proposed designation: 2 lbs./cap/day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 21,981 mil. GPD

Total design capacity of the water treatment plant(s): 33,696 mil. GPD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: Internal lake system
- 2.
3. Projected LOS under existing designation: 100 year - 24 hour design storm event.
4. Projected LOS under proposed designation: 100 year - 24 hour design storm event.
5. Improvement/expansion: On-site retention/detention pond

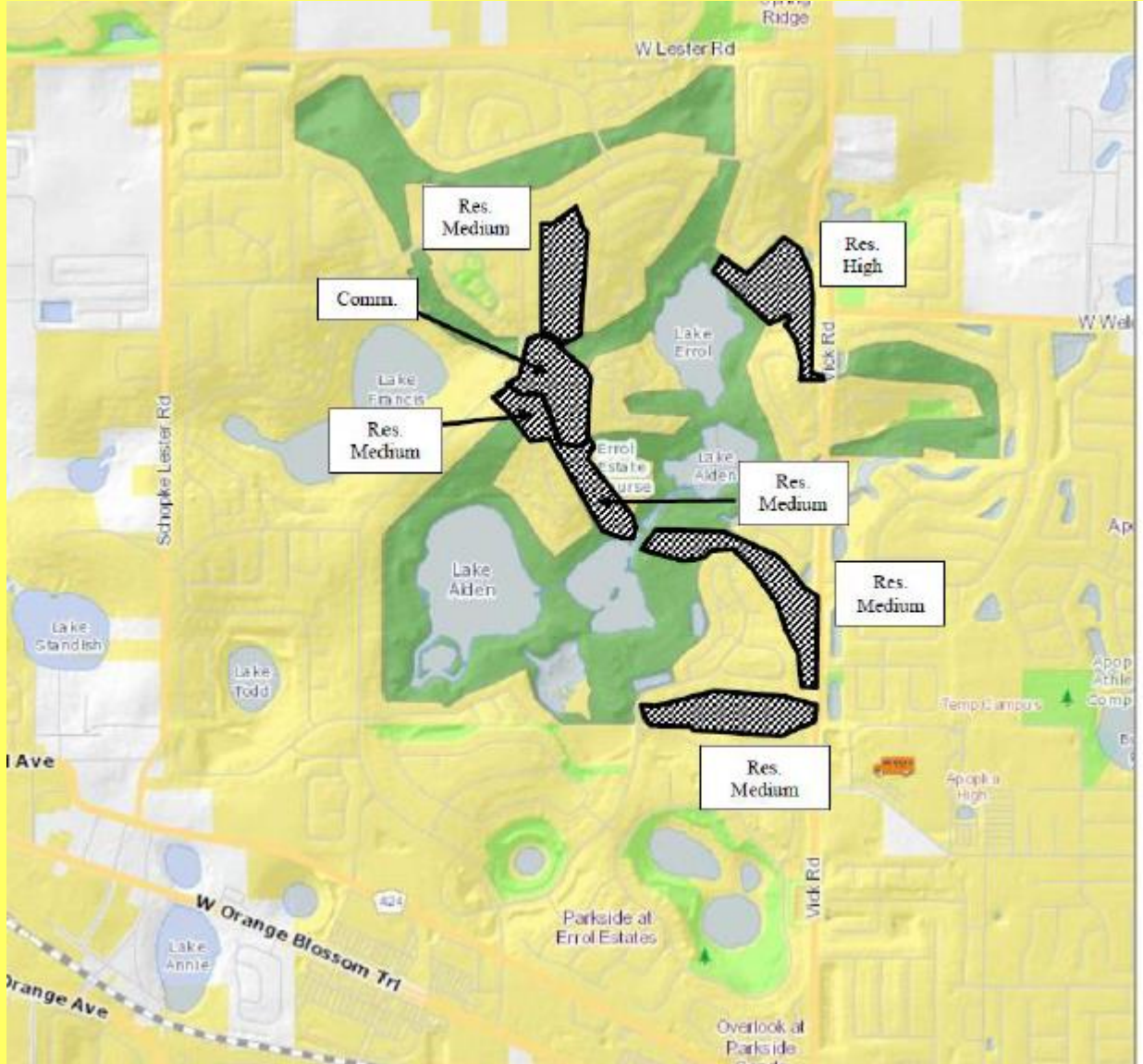
Recreation

1. Facilities serving the site; LOS standard: Golf course; club house; Northwest Recreation Complex; City of Apopka Parks System; 3 AC/1000 capita
2. Projected facility under existing designation: 4.131 AC
3. Projected facility under proposed designation: 2.679 AC
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

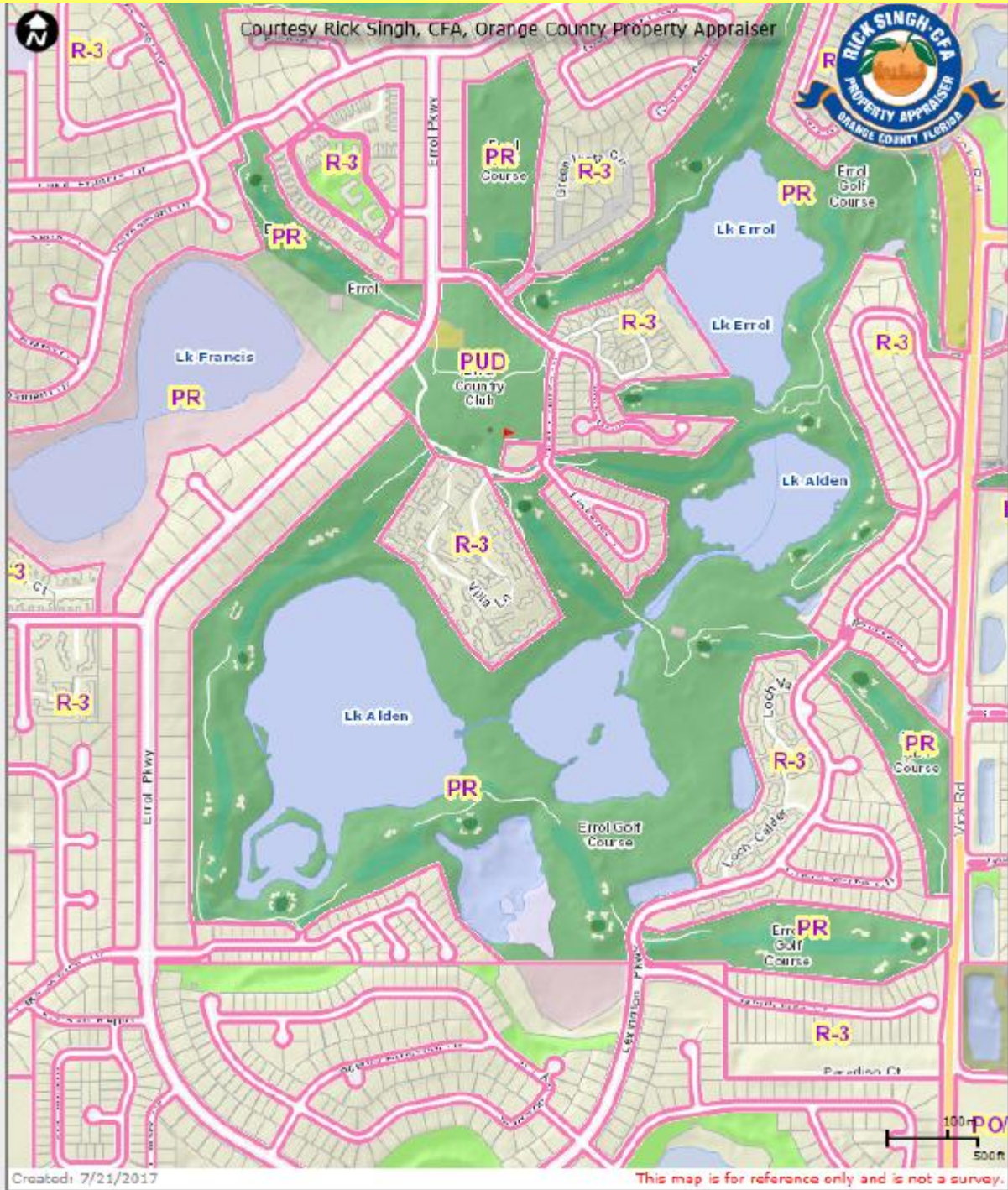


VICINITY AND PROPOSED FUTURE LAND USE DESIGNATIONS



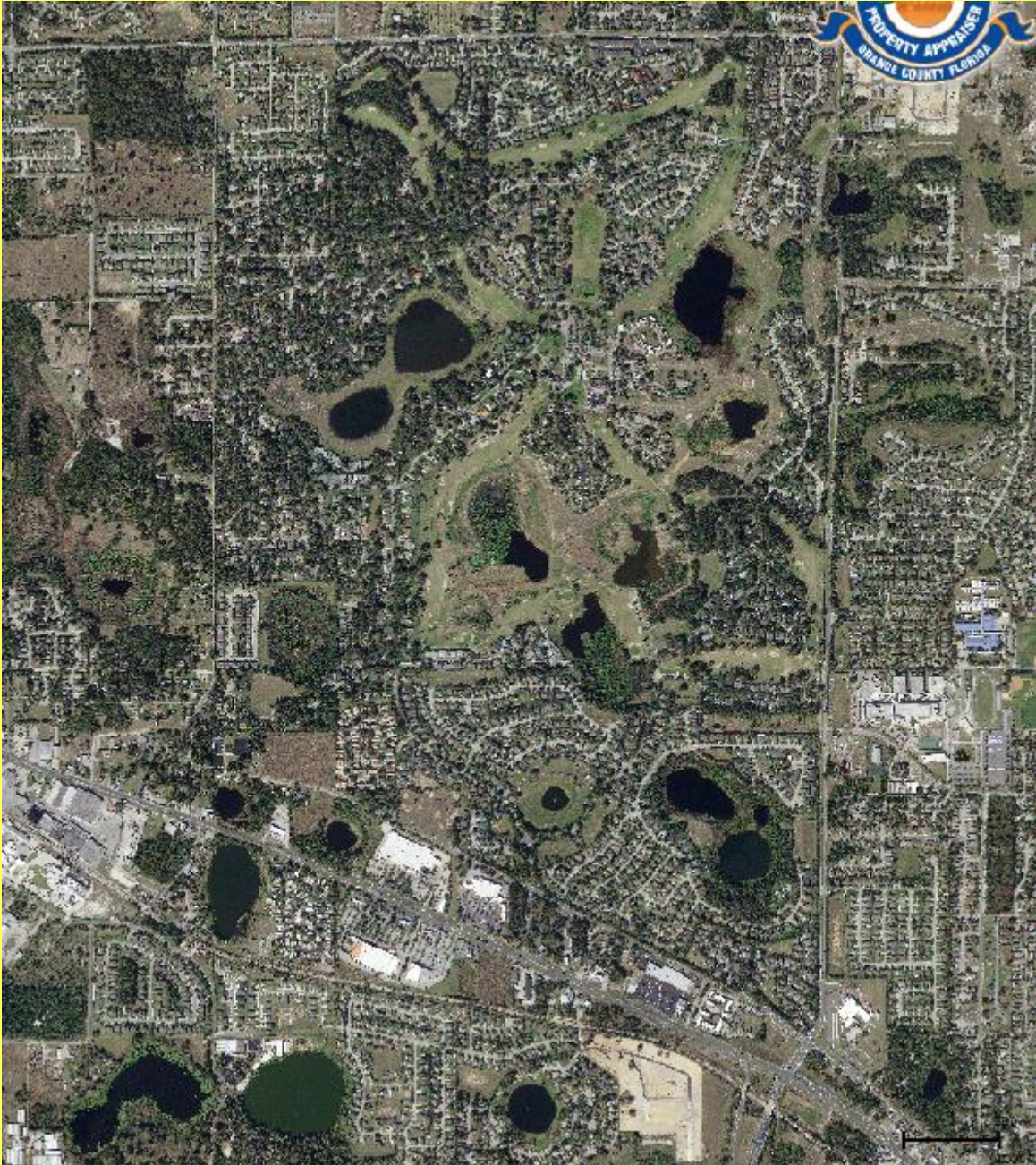


ADJACENT ZONING



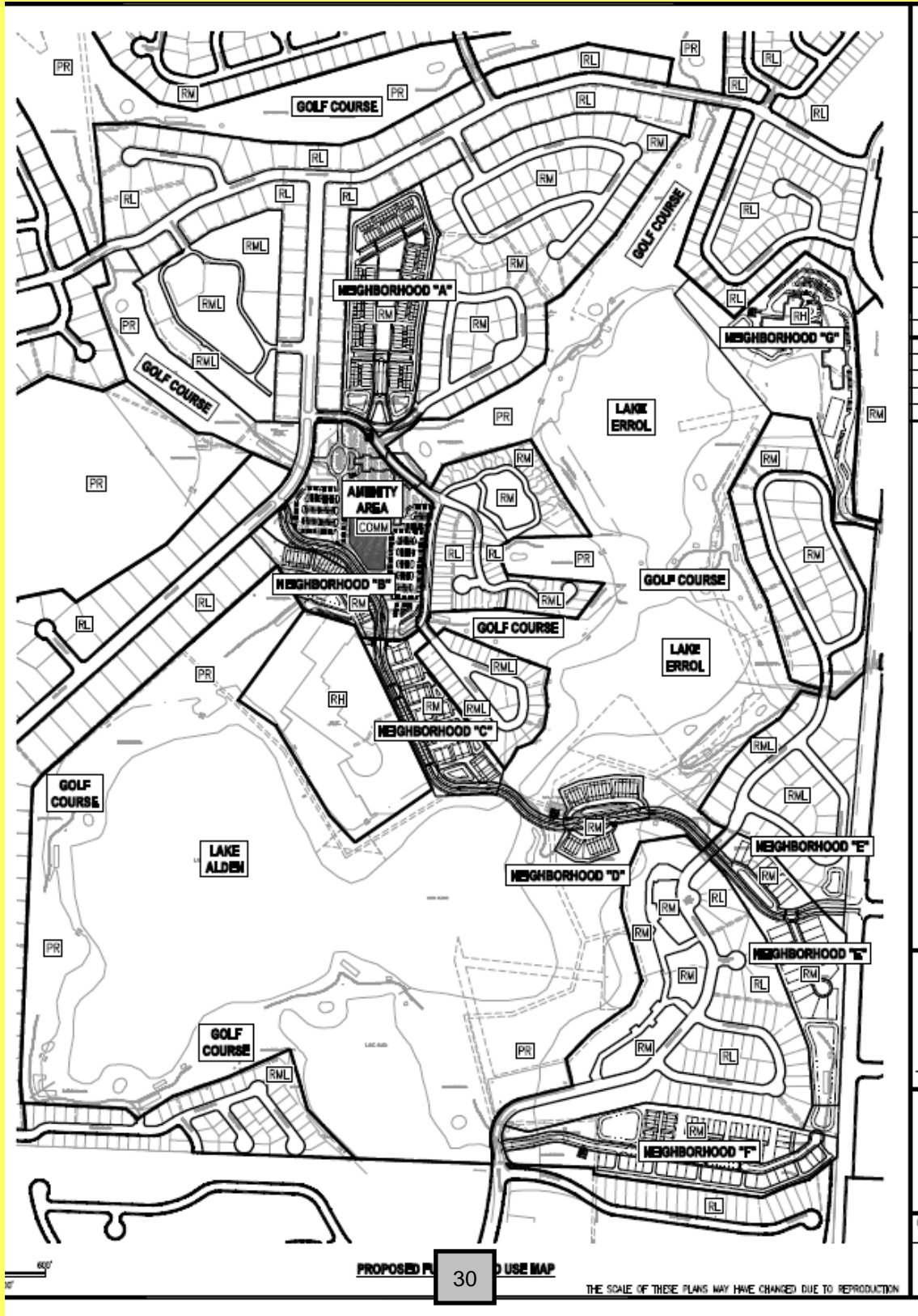


EXISTING USES

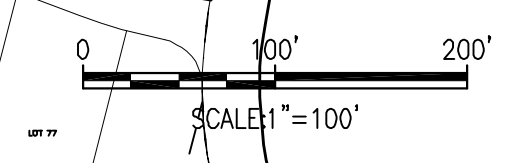




PROPOSED FUTURE LAND USE MAP



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NO.	DATE	DRAWN	CHECKED	APPROVED	DESCRIPTION

SCALE: AS SHOWN
 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

EXISTING CONDITIONS
 NEW ERROL
 CITY OF APOPKA, FLORIDA

SEAL
 RANDALL S. COHEN, P.E.
 No. 58581

gai consultants
 EB 9951
 618 EAST SOUTH STREET
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A160186.01

SHEET
 C1.10

MATCHLINE A - SEE SHEET C1.20 FOR CONTINUATION

THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

MATCHLINE A - SEE SHEET C1.10 FOR CONTINUATION



MATCHLINE B - SEE SHEET C1.30 FOR CONTINUATION

NO.	DATE	BY	CHKD.	APP'D.	DESCRIPTION

SCALE: AS SHOWN
 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

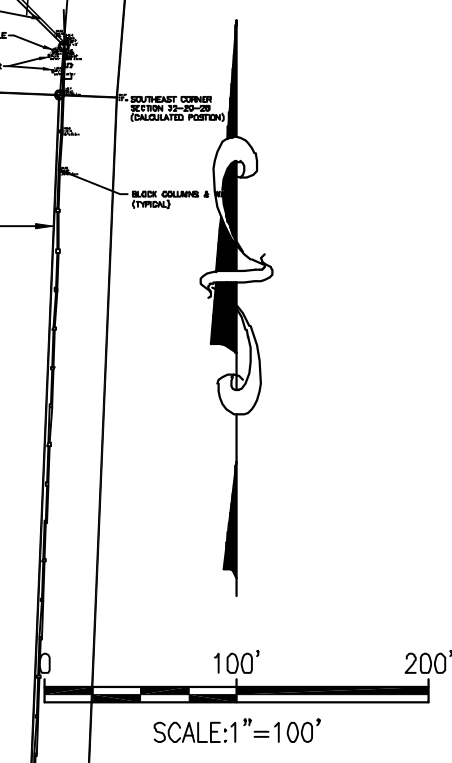
EXISTING CONDITIONS
 NEW ERROL
 CITY OF APOPKA, FLORIDA

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 RANDALL S. COHEN, P.E.
 No. 38581

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PROJECT NO./DASH NO.
 A160186.01

SHEET
 C1.20



THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

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REVISIONS			
NO.	DATE	BY	DESCRIPTION

SCALE: AS SHOWN
 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

EXISTING CONDITIONS
 NEW ERROL
 CITY OF APOPKA, FLORIDA

SEAL
 RANDALL S. COHEN, P.E.
 No. 58581

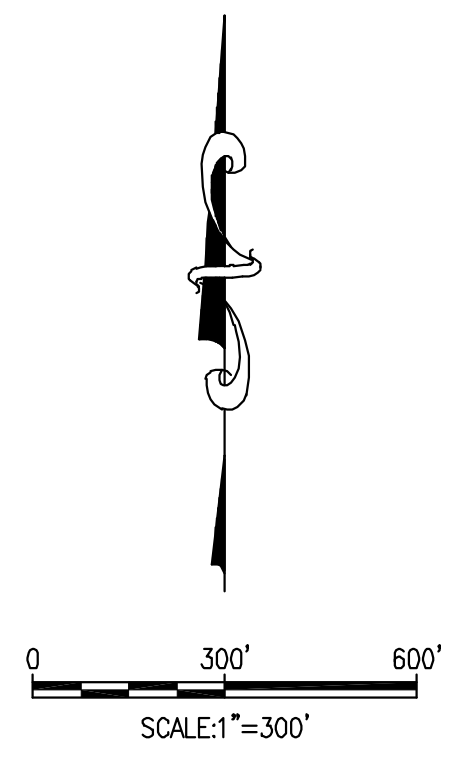
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PROJECT NO./DASH NO.
 A160186.01

SHEET
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 THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION




REVISIONS					
NO.	DATE	DRAWN	CHECKED	APPROVED	DESCRIPTION

SCALE: AS SHOWN
 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

OVERALL CONCEPT PLAN
NEW ERROL
 CITY OF APOPKA, FLORIDA

SEAL

RANDALL S. COHEN, P.E.
 No. 58581



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 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A160186.01

SHEET
C2.00

BUILDING DESIGN ARCHITECTURE

1. BUILDING FACADES SHALL BE VARIED IN DEPTH WITH MULTIPLE PITCHED ROOF HEIGHTS TO PROVIDE VISUAL INTEREST, FLAT AND/OR MANSARD ROOFS SHALL NOT BE PERMITTED.
2. FAÇADE MATERIALS SHALL BE VARIED AND MAY CONSIST OF STUCCO, HORIZONTAL SIDING, STONE AND/OR BRICK VENEER.
3. A COMMUNITY CLUBHOUSE AND RESORT STYLE POOL SHALL BE LOCATED IN NEIGHBORHOOD B.
4. THE COMMUNITY CLUBHOUSE SHALL BE EQUIPPED WITH RESTROOMS, COMMUNAL KITCHENS (INDOOR AND/OR OUTDOOR), SEATING AREAS AND EXERCISE AREAS.
5. THE COMMUNITY CLUBHOUSE SHALL BE DESIGNED TO ACCOMMODATE PERSONS WITH DISABILITIES AS REQUIRED BY THE FLORIDA BUILDING CODE AND ADA CURRENT ENFORCED EDITION.

ADDITIONAL NOTES

1. ALL RESIDENTIAL UNITS SHALL COMPLY WITH FAIR HOUSING ACT ACCESSIBILITY STANDARDS.
2. ALL RESIDENTIAL UNITS SHALL LAUNDRY FACILITIES LOCATED WITHIN THE LIVABLE AREA.
3. BICYCLE RACKS SHALL BE PROVIDED AT COMMUNITY CLUBHOUSES, AND RECREATION AREAS.
4. SINGLE FAMILY WASTE BINS SHALL BE STORED EITHER WITHIN EACH UNITS GARAGE OR BEHIND AN OPAQUE SCREEN WALL OR FENCE LOCATED WITHIN THE SIDE YARD SETBACK.
5. TOWNHOMES WASTE BINS SHALL BE STORED WITHIN EACH UNITS GARAGE OR BEHIND AN OPAQUE SCREEN WALL OR FENCE LOCATED WITHIN THE REAR YARD SETBACK.

COMMUNITY PARK GUIDELINES

1. PARK FACILITIES SHALL MEET ADA ACCESSIBILITY REQUIREMENTS.
2. RESTROOMS SHALL BE PROVIDED FOR PARK USERS.
3. BICYCLE RACKS SHALL BE PROVIDED. NUMBER AND LOCATION(S) TO BE DETERMINED AT FINAL DEVELOPMENT PLAN.
4. DRINKING FOUNTAINS SHALL BE PROVIDED. NUMBER AND LOCATION(S) TO BE DETERMINED AT FINAL DEVELOPMENT PLAN.
5. RECREATION FACILITIES SHOWN ON PLANS ARE CONCEPTUAL FACILITIES TO BE DETERMINED AT FINAL DEVELOPMENT PLAN.
6. ALL DEVELOPMENT RESIDENTS SHALL HAVE SHARED-USE ACCESS TO THE COMMUNITY PARK.

COMMUNITY DESIGN

1. EASTERN & WESTERN ENTRANCE FEATURE DESIGNS & LANDSCAPING WILL BE PROVIDED AT THE FINAL DEVELOPMENT PLAN.
2. POSTAL SERVICES:
SERVICES SHALL BE VIA INDIVIDUAL MAILBOXES LOCATED IN THE LANDSCAPE STRIP ABUTTING THE STREET. MAILBOXES SHALL BE UNIFORM IN DESIGN & COLOR AND OVERSEEN BY THE HOMEOWNER ASSOCIATION.
OTHER SERVICES SHALL HAVE USPS ADA APPROVED MAIL KIOSKS AS SHOWN ON THE ENLARGED MASTER PLAN. THESE KIOSKS SHALL BE LOCATED ON PAVED AREA WITH SUFFICIENT MANEUVERING CLEARANCE & PROPER GRADING TO ACCOMMODATE BOTH MAIL CARRIER & PERSONS WITH DISABILITIES. A LETTER FROM THE APOPKA USPS SHALL BE REQUIRED PRIOR TO APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN.
3. PUBLIC & PRIVATE ROADS ARE CALLED OUT ON THE MASTER PLAN SHEETS. FINAL STREET NAMES SHALL BE SUBMITTED WITH THE FINAL DEVELOPMENT PLAN.
4. A LIST OF POTENTIAL VILLAGE OR NEIGHBORHOOD NAMES SHALL BE INCLUDED WITH THE FINAL DEVELOPMENT PLAN.
5. COMMUNITY SIGNAGE WILL BE UNIFORM, DEVELOPED, SUBMITTED & APPROVED PER CITY OF APOPKA SIGNAGE STANDARDS AT THE FINAL DEVELOPMENT PLAN.
6. COMMUNITY STREET LIGHTING WILL BE UNIFORM, SELECTED, SUBMITTED AND APPROVED PER CITY OF APOPKA STREET LIGHTING STANDARDS AT THE PRELIMINARY SITE PLAN.

PARKING

1. SEE SHEET "C#.#.#" FOR PARKING SUMMARY TABLE
2. ON STREET PARALLEL PARKING SPACES SHALL BE A MINIMUM OF 9' WIDE X 22' IN LENGTH
3. HEAD-IN 90° STANDARD PARKING SPACES AT PARCEL B-2 PARKING AISLES MAY BE DECREASED TO 9' WIDE X 16' DEEP TO INCREASE LANDSCAPE MEDIAN PER CITY OF APOPKA LDC.
4. HEAD-IN 90° STANDARD PARKING SPACES SHALL BE A MINIMUM OF 12' WIDE X 18' LONG & MEET BOTH FLORIDA BUILDING CODE & FEDERAL ADA STANDARDS. A 5' WIDE ACCESSIBLE AISLE SHALL BE REQUIRED AT EACH ADA PARKING SPACE. EACH SPACE SHALL BE MARKED WITH THE UNIVERSAL ADA SYMBOL & BE PROVIDED WITH APPROPRIATE SIGNAGE IN ACCORDANCE WITH CODE REQUIREMENTS
5. COMPACT SPACES ARE NOT ALLOWED
6. GARAGE SETBACK FOR TOWNHOMES MUST BE SUFFICIENT TO ACCOMMODATE A 20' VEHICLE WITHOUT EXTENDING OVER A SIDEWALK OR STREET/ALLEY
7. TOWNHOME DRIVEWAYS SHALL BE SEPARATED BY LANDSCAPING AREA TO SEPARATE VEHICLES AND DEFINE PROPERTY BOUNDARIES.

BUILDING DESIGN ARCHITECTURE

1. TOWNHOMES: ENTRANCE TO EACH UNIT MUST ACCESS A SIDEWALK. REFER TO LANDSCAPE PLANS FOR PROPOSED SIDEWALK LOCATIONS
2. TOWNHOMES ABUTTING A STREET SHALL HAVE THEIR MAIN ENTRY FROM THAT STREET. INTERNAL BLOCK UNITS SHALL HAVE THEIR PRIMARY ENTRANCE OFF THE COMMON GREENSPACE WITH REAR ACCESS FROM INTERNAL STREETS/ALLEYS. REFER TO ENLARGED PLANS FOR GRAPHIC INFORMATION.
3. TOWNHOUSE UNIT PRELIMINARY LAYOUTS & DIMENSIONS USED FOR THIS SUBMITTAL SHALL BE PROVIDED AS SUPPLEMENTAL DOCUMENTS AT TIME OF PUBLIC HEARING.
4. TOWNHOMES SHALL HAVE A MINIMUM OF TWO ENCLOSED GARAGE SPACES.
5. SINGLE FAMILY RESIDENCES SHALL HAVE A MINIMUM OF 2 ENCLOSED GARAGE SPACES

RECREATION

1. COMMUNITY PARK SHALL BE AVAILABLE TO RESIDENTS OF ALL NEIGHBORHOODS INCLUDING ANY GUEST AND OR RESIDENTS AT ANY HOTELS OR ASSISTED LIVING FACILITY.

LANDSCAPE & BUFFER

1. FINAL RECREATION PLAN FOR EACH RESIDENTIAL NEIGHBORHOOD SHALL BE PROVIDED AT THE FINAL DEVELOPMENT PLAN.

FIRE DEPARTMENT NOTES

1. ALL ROADWAYS, WATER LINE INFRASTRUCTURE AND FIRE HYDRANTS SHALL BE IN PLACE BEFORE BUILDING CONSTRUCTION BEGINS
2. FIRE HYDRANTS MUST BE WITHIN 500 FEET OF EACH HOME
3. FIRE HYDRANT SHALL BE MARKED WITH A BLUE ROAD REFLECTOR
4. FIRE LANES SHALL BE PROVIDED FOR THE MULTI RESIDENTIAL BUILDINGS
5. ALL MULTI RESIDENTIAL TOWN HOMES OR APARTMENTS MUST BE EQUIPPED WITH FIRE SPRINKLER SYSTEMS AND FIRE ALARM SYSTEMS MEETING FLORIDA FIRE PREVENTION CODE
6. FIRE DEPARTMENT CONNECTIONS (FDC) FOR SPRINKLER SYSTEMS MUST BE REMOTE FROM BUILDING WITH FINE LANES
7. IF THE DEVELOPMENT IS GATED, THE GATE SHALL BE EQUIPPED WITH AN OPTI-CAM TYPE SIGNALING DEVICE THAT IS COMPATIBLE WITH CITY OF APOPKA EMERGENCY VEHICLES. IT MUST ALSO BE EQUIPPED WITH A YELP SIREN ACTIVATION AND GATE CODE REQUESTED BY THE FIRE DEPARTMENT.

PUBLIC SERVICES DEPARTMENT NOTES

1. ROADS, DRIVEWAYS & ROUNDABOUTS SHALL FOLLOW FDOT STANDARDS
2. UTILITIES SHALL BE COORDINATED WITH AND PROVIDED BY THE CITY OF APOPKA
3. SANITATION SERVICES SHALL BE COORDINATED WITH AND PROVIDED BY THE CITY OF APOPKA
4. SINGLE FAMILY & TOWNHOME SANITATION SERVICE SHALL BE VIA INDIVIDUAL UNIT CURBSIDE WASTE BINS PER CITY SCHEDULE
5. NO TREES OR SHRUBS SHALL BE PLANTED WITHIN THE ROAD RIGHT-OF-WAYS CONTAIN CITY-MAINTAINED POTABLE WATER, RECLAIMED WATER, STORMWATER OR SEWER MAINS.
6. LANDSCAPE & IRRIGATION DESIGN SHALL BE IN ACCORDANCE WITH THE CITY OF APOPKA ORDINANCE 2069, ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE & IRRIGATION STANDARDS.

SITE DATA NOTES:

PARCEL ID	32-20-28-0000-00-004 32-20-28-0000-00-003 32-20-28-0000-00-049 32-20-28-0000-00-027
PROJECT ACREAGE	32-20-28-0000-00-004 (277,854 AC; 12,103,324 SF) 32-20-28-0000-00-003 (14,931 AC; 650,400 SF) 32-20-28-0000-00-049 (7,303 AC; 318,109 SF) 32-20-28-0000-00-027 (47,087 AC; 2,051,114 SF) TOTAL : 347.175 ACRES (15,122,947 SF)
EXISTING LAND USES	GOLF COURSE
PROPOSED LAND USES	GOLF COURSE / RESIDENTIAL
EASEMENTS	SEE SURVEY
ON-SITE SOILS	PER USDA NRCS SOIL SURVEY OF ORANGE COUNTY, THE SITE SOILS ARE MAPPED AS: BASINGER FINE SAND, 0-5% SLOPE (3); CANDLER FINE SAND, 0-5% SLOPE (4); CANDLER FINE SAND, 5-12% SLOPE (5); CANDLER-APOPKA FINE SANDS, 5-12% SLOPE (6); CANDLER URBAN LAND COMPLEX, 0-5% SLOPE (7); LAKE FINE SAND, 0-5% SLOPE (21); TAVARES-MILLHOPPER FINE SAND, 0-5% SLOPE (47); OPEN WATER (99).
PHASING	THREE PHASE
ON-SITE VEGETATION	VACANT GOLF COURSE. EXISTING TREES NOTED ON SURVEY
BUILDING SETBACKS	SEE DEVELOPMENT STANDARDS TABLE
PROJECT EXTERNAL ADTS	A TRAFFIC STUDY BY TRAFFIC PLANNING AND DESIGN, INC. IS PREPARED FOR THIS PROJECT.
PARKING SPACES PROVIDED	SURFACE PARKING: 324 PROPOSED SPACES ON-STREET PUBLIC PARKING : 108 SPACES (ON MAIN LANE AND SIDE ROADS) TOTAL ON-SITE PARKING SPACES : 432 SPACES PARKING SHALL COMPLY WITH CITY OF APOPKA LAND DEVELOPMENT CODES.
SERVICES/UTILITY PROVISION	
WATER	CITY OF APOPKA
SANITARY SEWER	CITY OF APOPKA
ELECTRIC	CITY OF APOPKA
STORMWATER MANAGEMENT	STORMWATER PERMITTING THROUGH SURFWD
PROPOSED REFUSE STORAGE	INTERNAL TO THE BUILDINGS
FEMA FLOOD MAP	A SIGNIFICANT PORTION OF THE PROJECT AREA IS LOCATED WITHIN THE 100-YEAR FLOODPLAIN AS ZONE AE (ELEV. 67.1 NAVD 88) PER FEMA MAP PANEL #12085C0110F (EFFECTIVE 9/25/09)
ROAD RIGHT-OF-WAY AND POSTED SPEED LIMITS	MAIN STREET - 60' (30 MPH) SIDE STREETS - 50' (25 MPH)

NO.	DATE	BY	CHKD	APPROV	DESCRIPTION

SCALE:	AS SHOWN
DATE:	06-08-2017
DRAWN:	MJC
CHECKED:	RSC
APPROVED:	RSC

DESIGN DEVELOPMENT STANDARDS

NEW ERROL
CITY OF APOPKA, FLORIDA

SEAL

RANDALL S. COHEN, P.E.
No. 58581

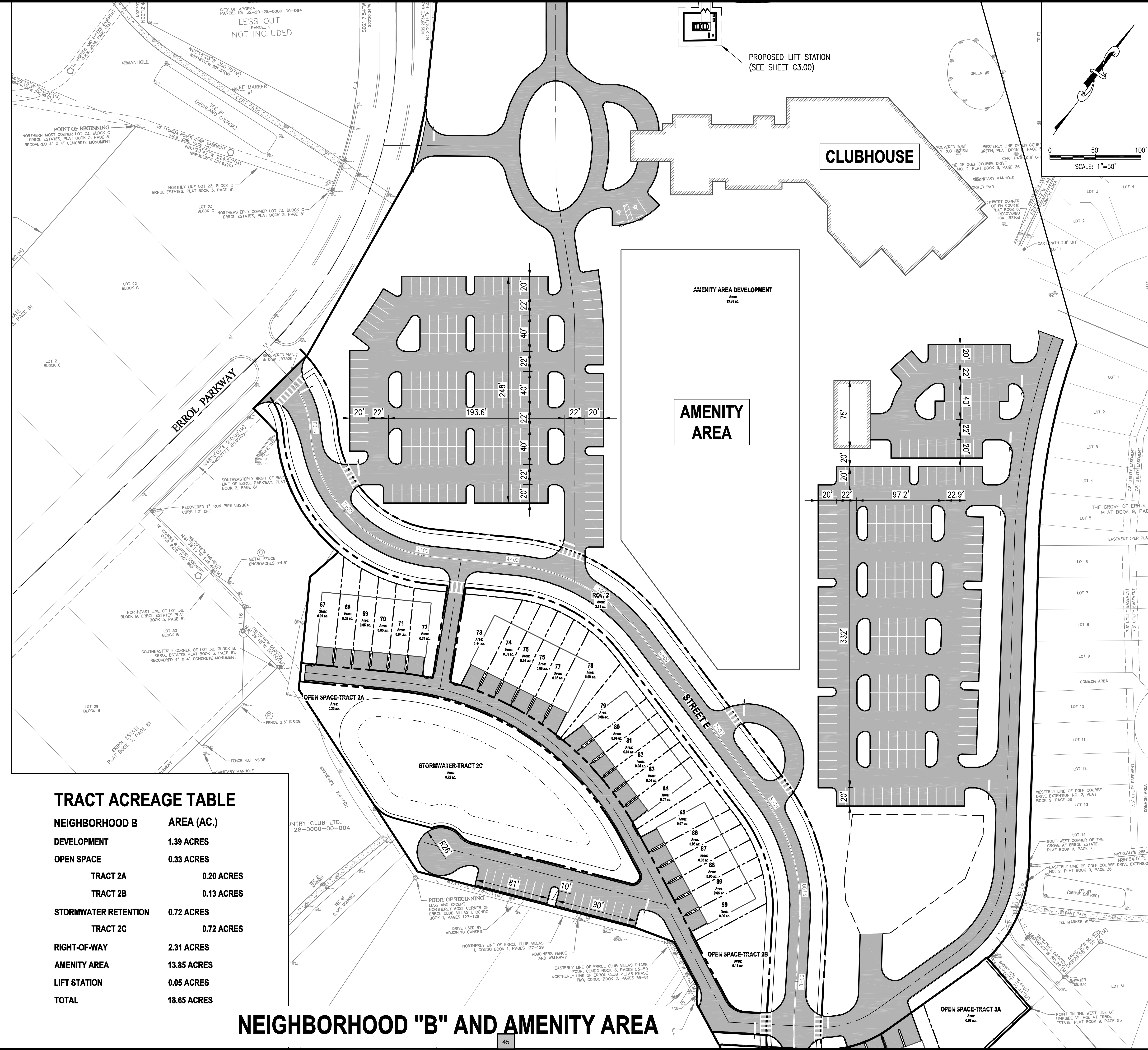


PROJECT NO./DASH NO.
A160186.01

SHEET
C2.30

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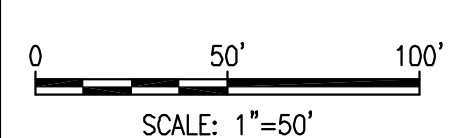
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PROPOSED LIFT STATION
(SEE SHEET C3.00)

CLUBHOUSE

AMENITY AREA

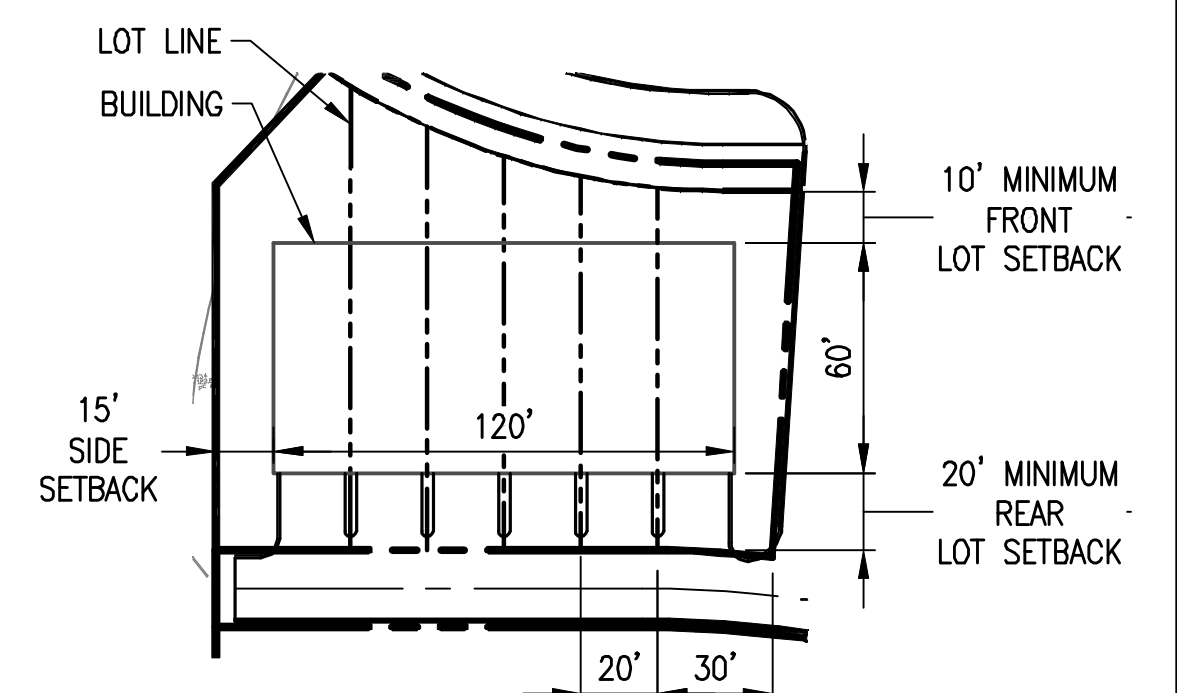


TRACT ACREAGE TABLE

NEIGHBORHOOD B DEVELOPMENT	AREA (AC.)
AMENITY AREA	13.85 ACRES
STORMWATER RETENTION TRACT 2C	0.72 ACRES
STORMWATER RETENTION TRACT 2B	0.13 ACRES
STORMWATER RETENTION TRACT 2A	0.20 ACRES
OPEN SPACE	0.33 ACRES
RIGHT-OF-WAY	2.31 ACRES
LIFT STATION	0.05 ACRES
TOTAL	18.65 ACRES

NEIGHBORHOOD "B" AND AMENITY AREA

Allowable Uses	Neighborhood B-1 Development Standards		Neighborhood B-2 Development Standards	
	Clubhouse Amenity	Attached Residential	Allowable Uses	Attached Residential
Max Clubhouse	20,000 sqft	24	Max Residential Units	24
Max Hotel	40 rooms	3.2 acres	Neighborhood Acreage	3.2 acres
Neighborhood Acreage	15.4	7.5 du/acre	Gross Neighborhood Density	7.5 du/acre
Proposed Parking Count	367	48 enclosed spaces (rear loaded)	Proposed Parking Count	48 enclosed spaces (rear loaded)
Lot Standards		19 guest spaces	Lot Standards	
Min Lot Width	N/A		Min Lot Width	20'
Min Lot Depth	N/A		Min Lot Depth	90'
Minimum Setbacks			Minimum Setbacks	
Front	25'		Front	10'
Corner Side	25'		Side	10'
Rear	25'		Corner Side	15'
Building Height			Rear	20'
Max Stories	3		Minimum Attached Building Separation	10'
Max Height	50'		Building Height	
Minimum Parking	per City LDC		Max Stories	3
			Max Height	35'
			Minimum Living Area	1,350 sq ft
			Minimum Parking	2 enclosed spaces per unit



TYPICAL LOT DETAIL

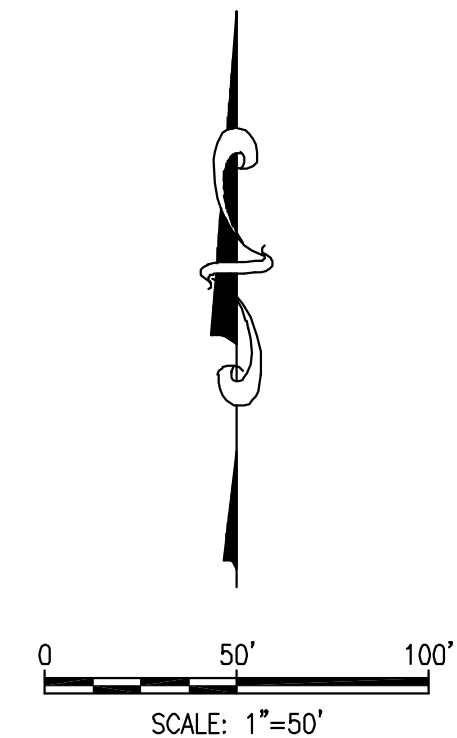
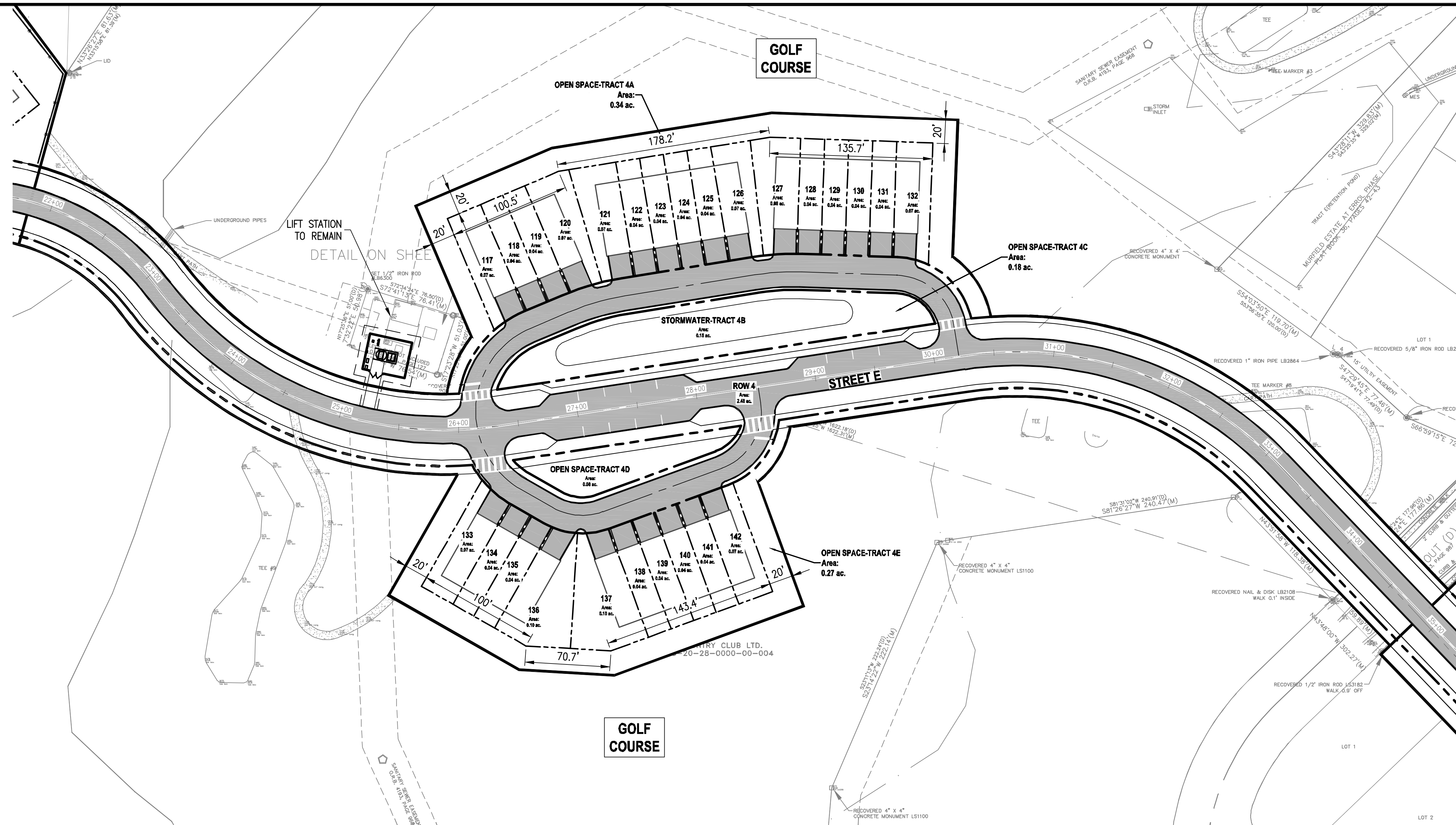


KEY MAP

SUBDIVISION PLAN - NEIGHBORHOOD B		NEW ERROL CITY OF APOKA, FLORIDA													
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PROJECT NO./DASH NO. A160186.01		SHEET C3.10													

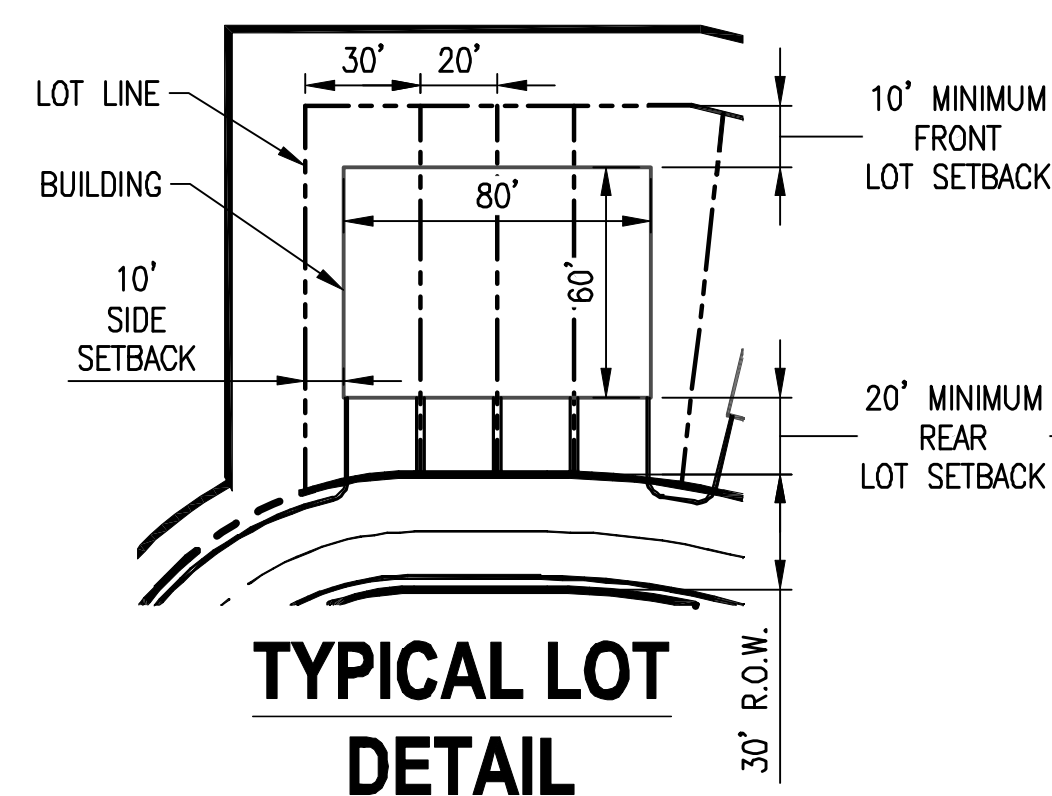
THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

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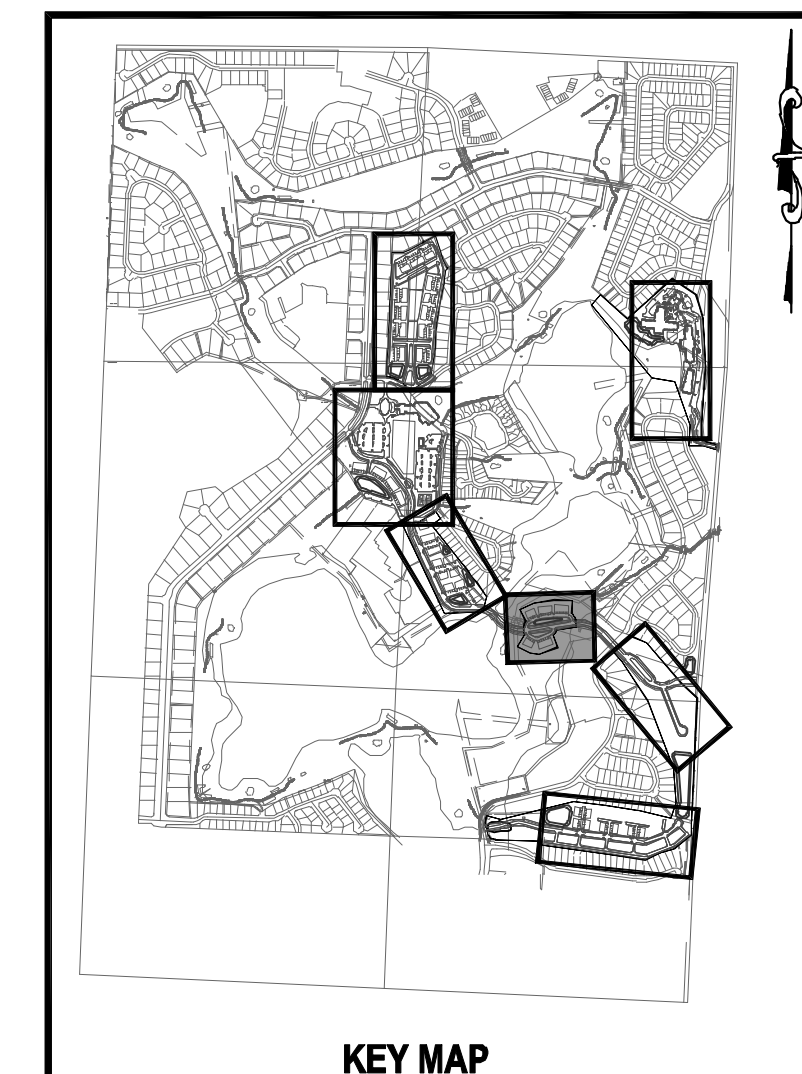
Neighborhood D Development Standards		
Allowable Uses		Attached Residential
Max Residential Units		26
Neighborhood Acreage		4.91 acres
Gross Neighborhood Density		5.30 du/acre
Proposed Parking Count		52 enclosed spaces (rear loaded) 14 on-street spaces
Lot Standards		
	Min Lot Width	20'
	Min Lot Depth	90'
Minimum Setbacks		
	Front (from common area)	10'
	Side	10'
	Corner Side	15'
	Rear	20'
Minimum Attached Building Separation		20'
Building Height		
	Max Stories	3
	Max Height	35'
Minimum Living Area		1,350 sq ft
Minimum Parking		2 enclosed spaces per unit

NEIGHBORHOOD "D"



TRACT ACREAGE TABLE

NEIGHBORHOOD D DEVELOPMENT	AREA (AC.)
OPEN SPACE	0.87 ACRES
TRACT 4A	0.34 ACRES
TRACT 4C	0.18 ACRES
TRACT 4D	0.08 ACRES
TRACT 4E	0.27 ACRES
STORMWATER RETENTION	0.15 ACRES
TRACT 4B	0.15 ACRES
RIGHT-OF-WAY	2.48 ACRES
TOTAL	4.91 ACRES



REVISIONS	
NO.	DESCRIPTION

SCALE: AS SHOWN
 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

SUBDIVISION PLAN - NEIGHBORHOOD D
NEW ERROL
CITY OF APOPKA, FLORIDA

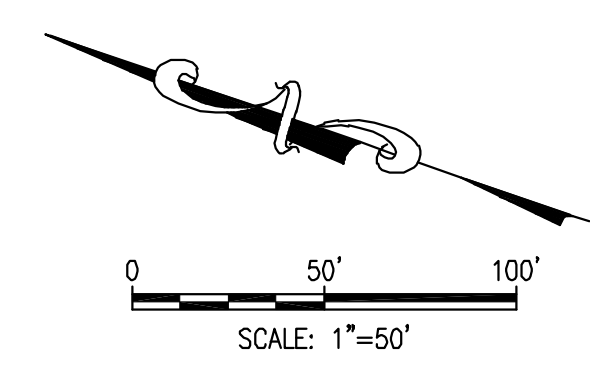
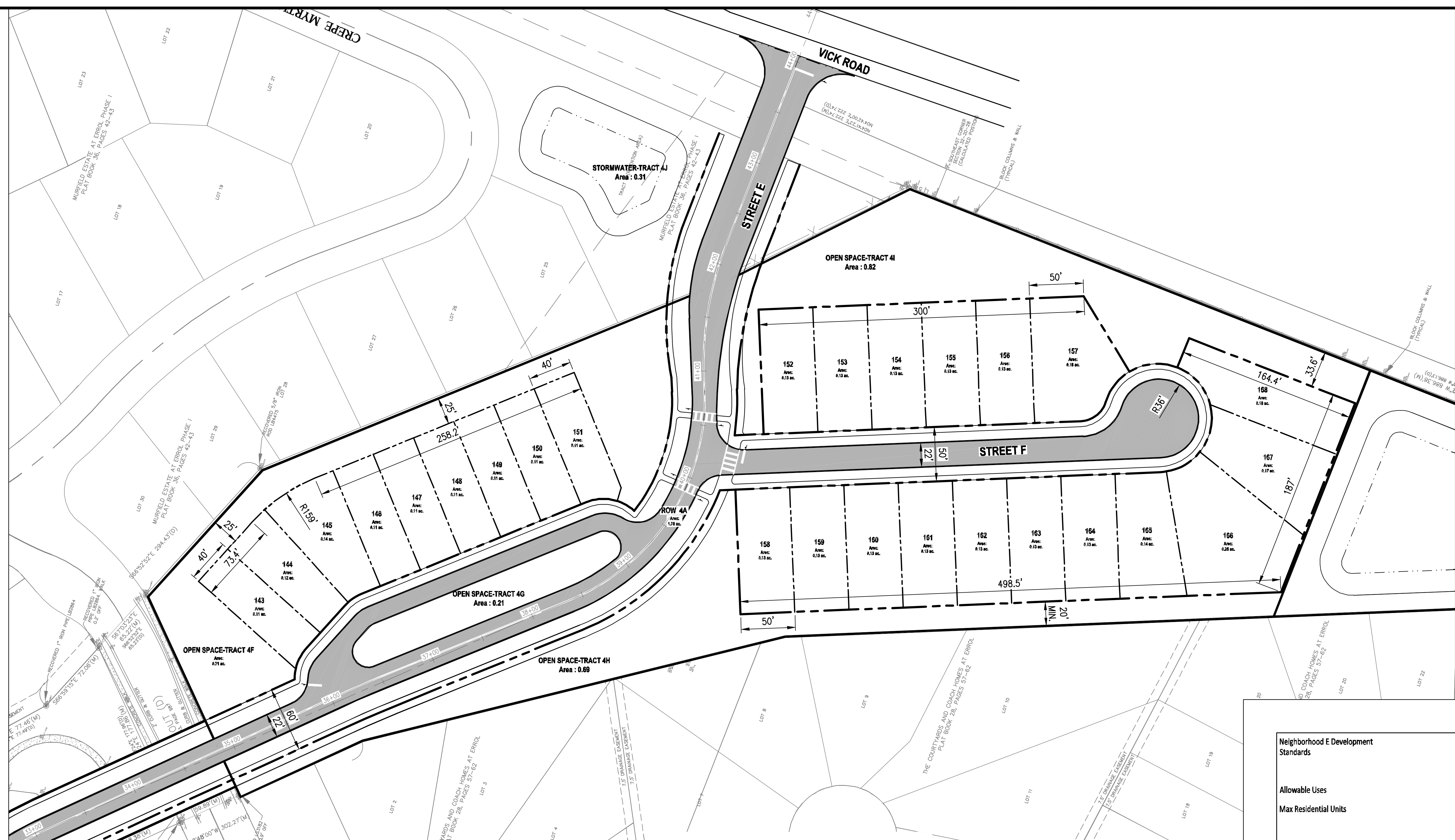
SEAL

RANDALL S. COHEN, P.E.
 No. 58581

gai consultants
 EB 9951
 618 EAST SOUTH STREET
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A160186.01

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SCALE: AS SHOWN

DATE: 06-08-2017

DRAWN: MJC

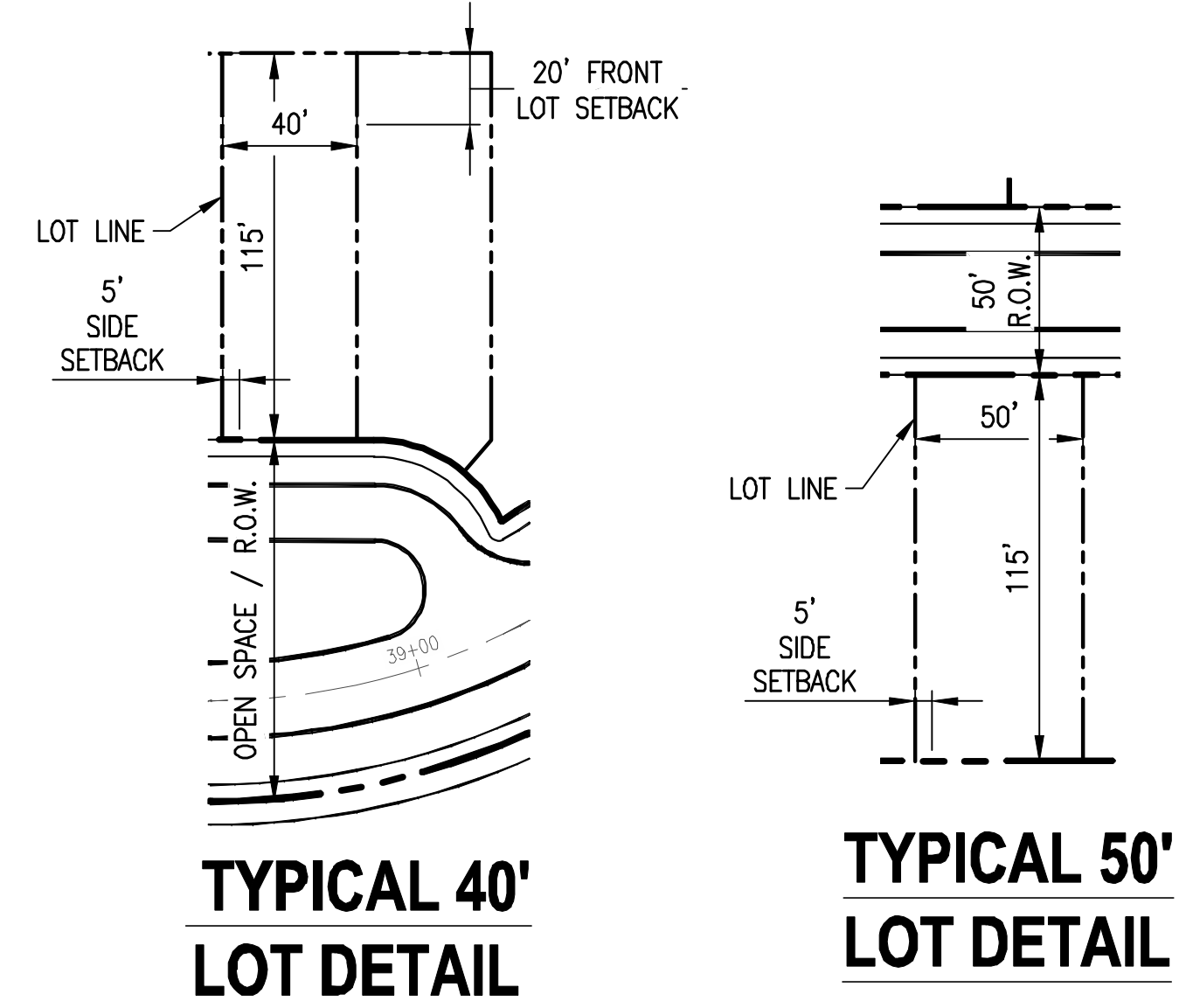
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SUBDIVISION PLAN - NEIGHBORHOOD E
NEW ERROL
CITY OF APOPKA, FLORIDA

NEIGHBORHOOD "E"

Neighborhood E Development Standards	
Allowable Uses	Single Family Detached
Max Residential Units	10 (40'x115' lots) 16 (50'x115' lots)
Neighborhood Acreage	8.03 acres
Gross Neighborhood Density	3.24 du/acre
Proposed Parking Count	52 enclosed spaces
Lot Standards	
Min Lot Width	40'
Min Lot Depth	100'
Minimum Setbacks	
Front	20'
Side	5'
Corner Side	10'
Rear	20'
Front-Facing Garage	30'
Building Height	
Max Stories	2
Max Height	35'
Minimum Living Area	1,500
Minimum Parking	2 enclosed spaces per unit



TRACT ACREAGE TABLE

NEIGHBORHOOD E DEVELOPMENT	AREA (AC.)
TOTAL	8.03 ACRES
OPEN SPACE	2.43 ACRES
TRACT 4F	0.71 ACRES
TRACT 4G	0.21 ACRES
TRACT 4H	0.69 ACRES
TRACT 4I	0.82 ACRES
STORMWATER RETENTION	0.31 ACRES
TRACT 4F	0.31 ACRES
RIGHT-OF-WAY	1.78 ACRES
TOTAL	8.03 ACRES



SEAL

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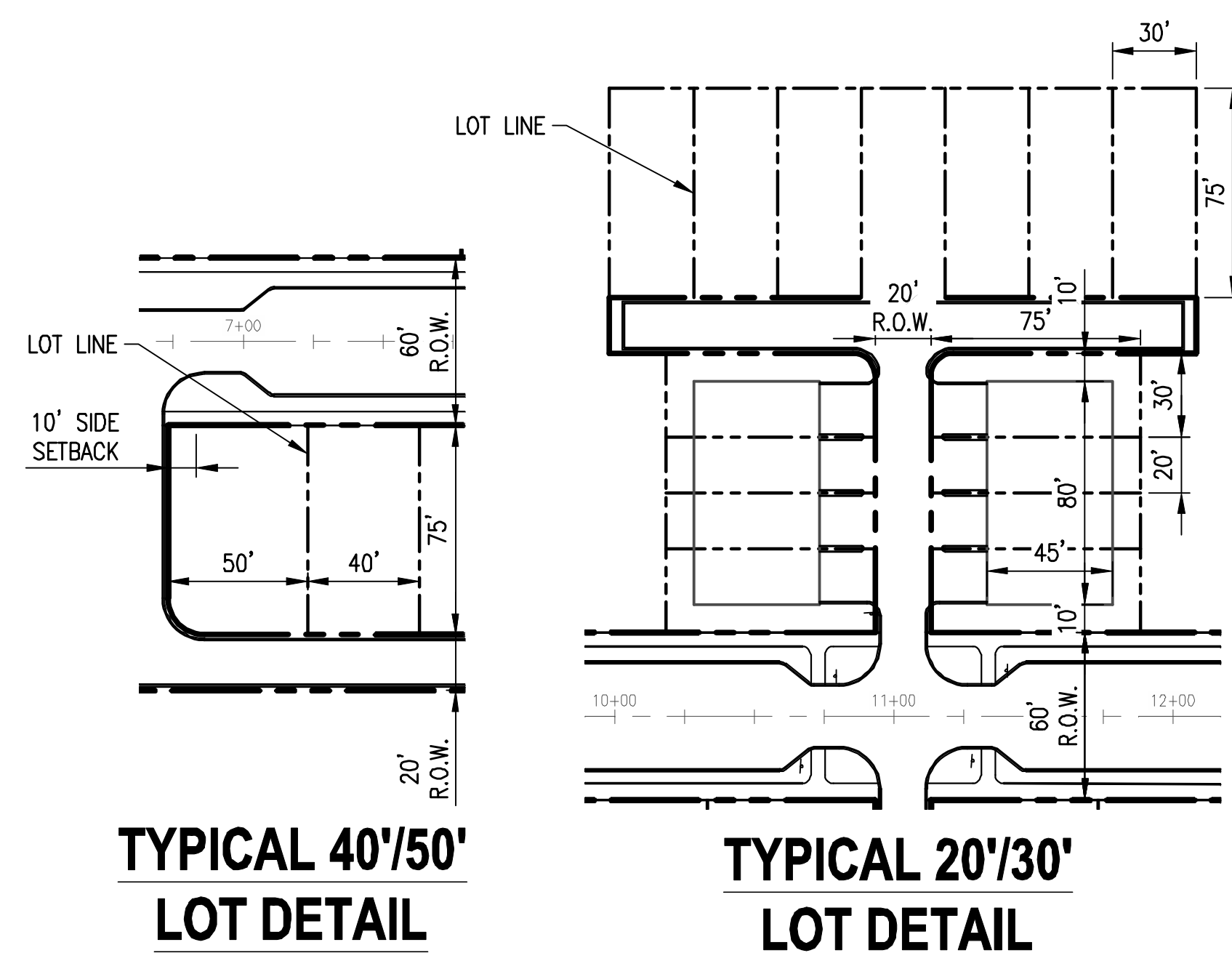
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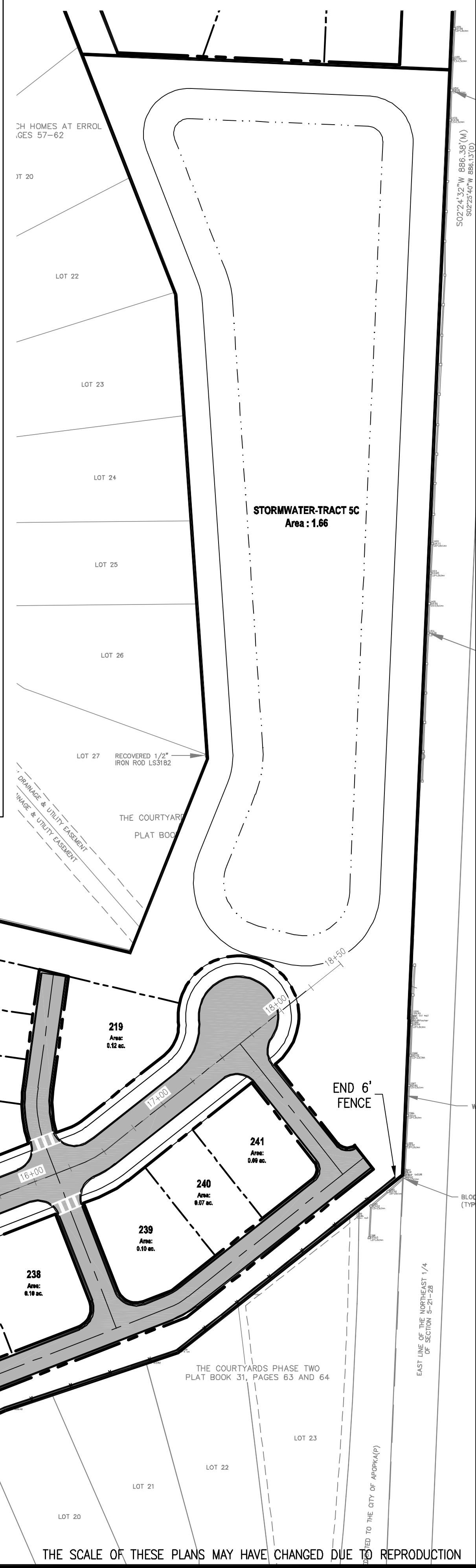
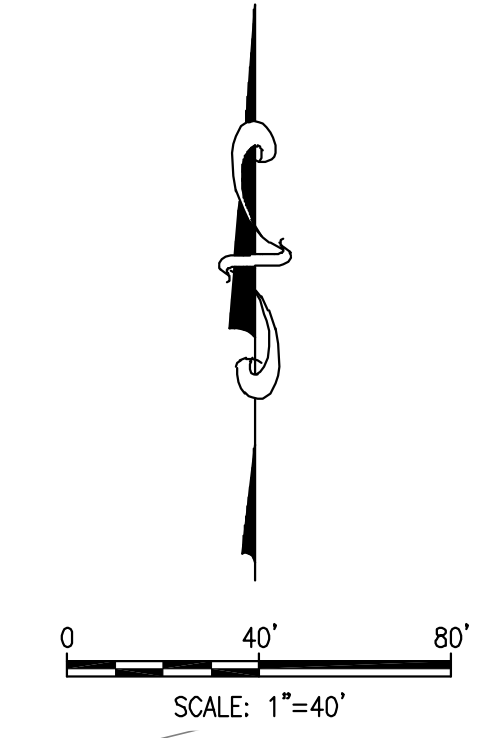
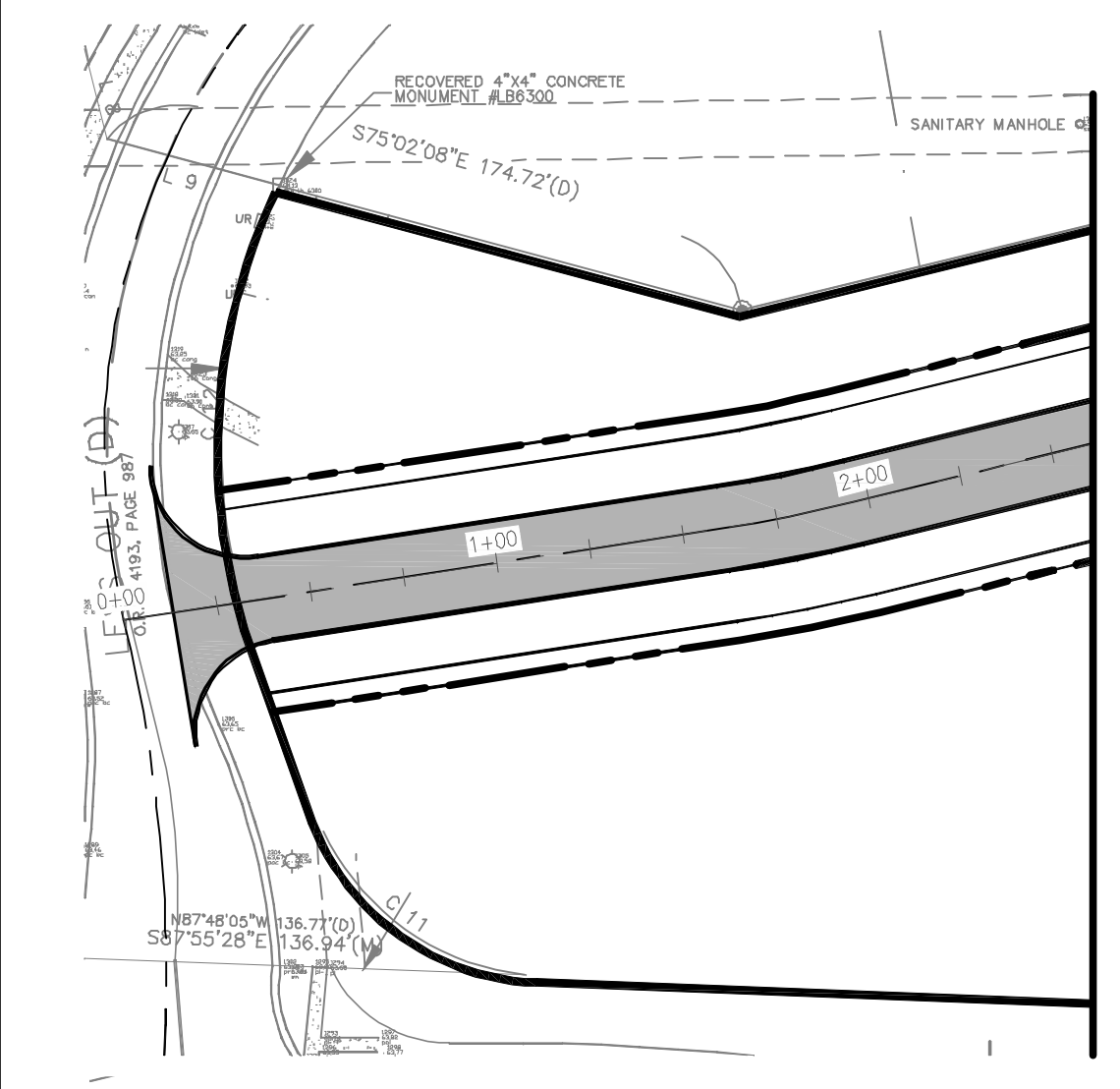


TRACT ACREAGE TABLE

NEIGHBORHOOD F DEVELOPMENT	AREA (AC.)
TRACT 5A	5.14 ACRES
STORMWATER RETENTION	2.49 ACRES
TRACT 5B	0.83 ACRES
TRACT 5C	1.66 ACRES
RIGHT-OF-WAY	3.65 ACRES
LIFT STATION	0.05 ACRES
TOTAL	15.67 ACRES



Neighborhood F Development Standards		
Allowable Uses	Allowable Uses	Single Family Detached
Max Residential Units		19 (30'x75' lots) 9 (40'x75' lots) 13 (50'x75' lots) 32 townhomes
Neighborhood Acreage		15.62 acres
Gross Neighborhood Density		4.67 du/acre
Proposed Parking Count		146 enclosed spaces 38 on-street spaces
Lot Standards		
Min Lot Width (detached unit)		30'
Min Lot Width (attached unit)		20'
Min Lot Depth		75'
Minimum Setbacks (attached units)		
Front		20'
Side		10'
Rear (to common area)		10'
Minimum Setbacks (30' detached lots)		
Front		20'
Side		0'/5'
Rear (to common area)		10'
Minimum Setbacks (all other detached lots)		
Front		10'
Side		5'
Corner Side		15'
Rear (from alley)		10'
Building Height		
Max Stories		3
Max Height		35'
Minimum Living Area		1,350 sq ft
Minimum Parking		2 enclosed spaces per unit



SUBDIVISION PLAN - NEIGHBORHOOD F		NEW ERROL		CITY OF APOPKA, FLORIDA	
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PROJECT NO./DASH NO.		A160186.01		SHEET	
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RANDALL S. COHEN, P.E.
No. 58581

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Neighborhood G Development Standards

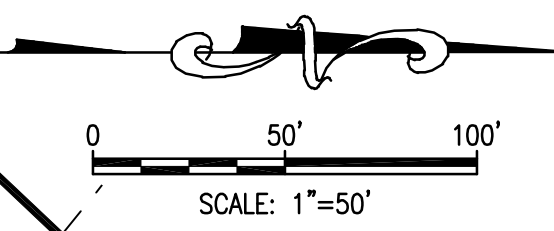
Allowable Uses	Assisted Living (ALF)
	Acute Care Rehab1
Max ALF	180 units
Max Acute Care	200,000 sq ft
	60 beds
	45,000 sq ft
Neighborhood Acreage	13.94 acres
Proposed Parking Count	136
Lot Standards	
Min Lot Width	N/A
Min Lot Depth	N/A
Minimum Building Setbacks	
From single family lot line	100'
From other	25'
Minimum Parking Setbacks	
From single family lot line	25'
Building Height2	
Max Stories (front)	2
Max Stories (rear)	3
Max Height (front)	35'
Max Height (rear)	50'
Minimum Living Area	See note 3
Minimum Parking	per Apopka LDC



TRACT ACREAGE TABLE

NEIGHBORHOOD G DEVELOPMENT	AREA (AC.)
DEVELOPMENT	6.35 ACRES
OPEN SPACE	6.79 ACRES
TRACT 6A	6.79 ACRES
STORMWATER RETENTION	0.80 ACRES
TRACT 6B	0.80 ACRES
LIFT STATION	0.05 ACRES
TOTAL	13.99 ACRES

1. Acute care rehabilitation centers are inpatient facilities that specialize in cases rehab cases where therapy is needed at least 3 hours a day, 5-7 days a week, with on-call nurses 24 hours. Though patients are stays may be lengthy, they are ultimately discharged once acute therapy is no longer needed. These centers are not residential facilities, though many times they are ancillary to assisted living facilities. Often times, those requiring extended acute care will transfer to an assisted living facility following treatment.
2. Due to the steep grade change on this site, the front of the buildings will be two stories and not exceed 35' in height, however, the back of the buildings (facing the lakes) will be 3 stories, and may exceed 35' when measured from the rear grade.
3. The living area of the units within the ALF vary depending on the amount of care required. Memory care units, which is a high level of care, only require 350 sq ft, where as typical units may be 550-650 sq ft.



NEIGHBORHOOD "G"

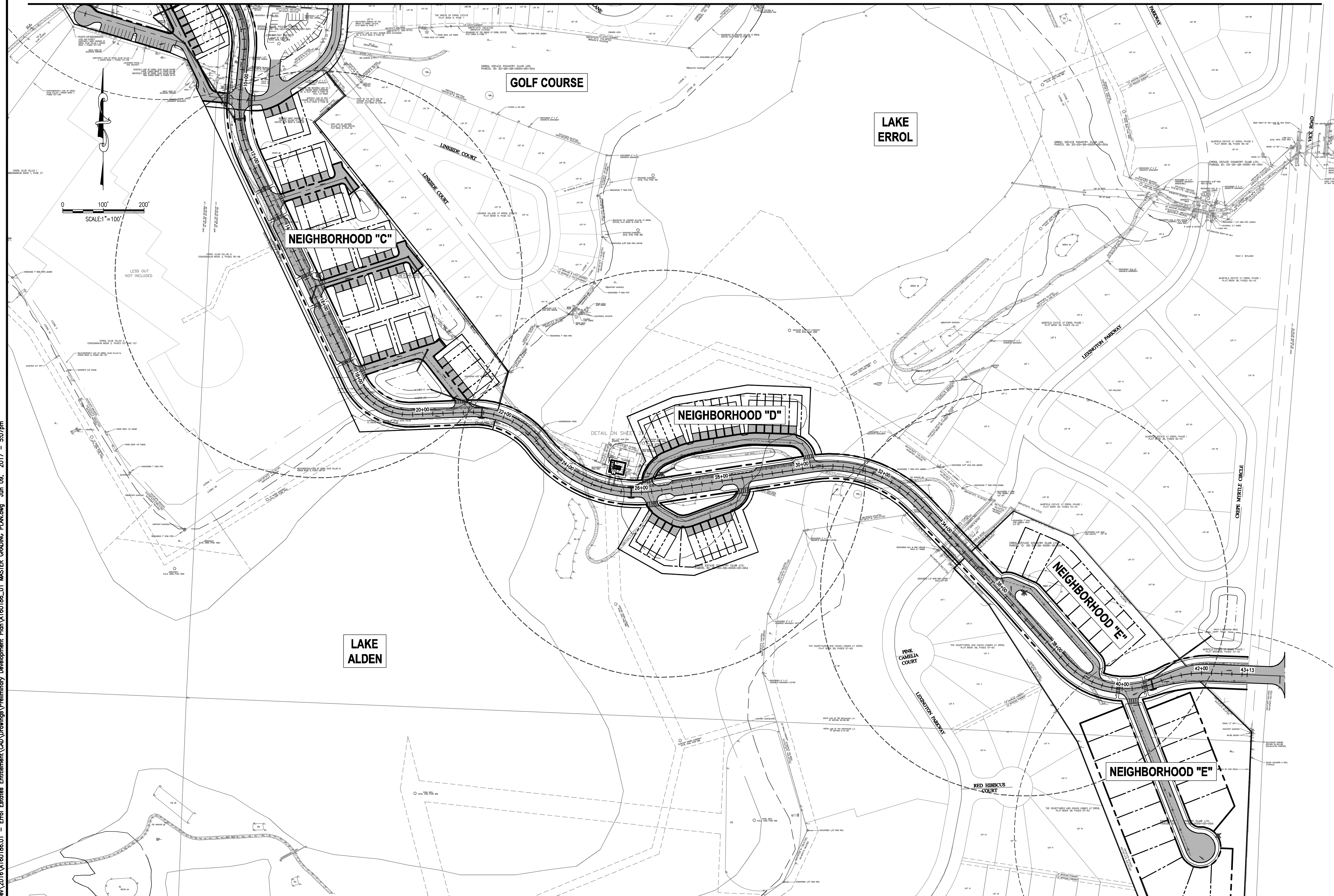
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PARCEL ID: 32-20-28-0000-00-042

SUBDIVISION PLAN - NEIGHBORHOOD G		NEW ERROL		CITY OF APOPKA, FLORIDA													
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<p>SEAL</p> <p>RANDALL S. COHEN, P.E. No. 58581</p> <p>gai consultants EB 9951 618 EAST SOUTH STREET ORLANDO, FLORIDA 32801 PHONE: (407) 423-8398</p>																	
<p>PROJECT NO./DASH NO. A160186.01</p> <p>SHEET C3.60</p>																	

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THE SCALE OF THESE PLANS MAY HAVE CHANGED DUE TO REPRODUCTION

MATCHLINE A - SEE SHEET C4.00 FOR CONTINUATION



MATCHLINE B - SEE SHEET C4.20 FOR CONTINUATION

REVISIONS			
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 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

GRADING PLAN
 NEW ERROL
 CITY OF APOPKA, FLORIDA

RANDALL S. COHEN, P.E.
 No. 58581

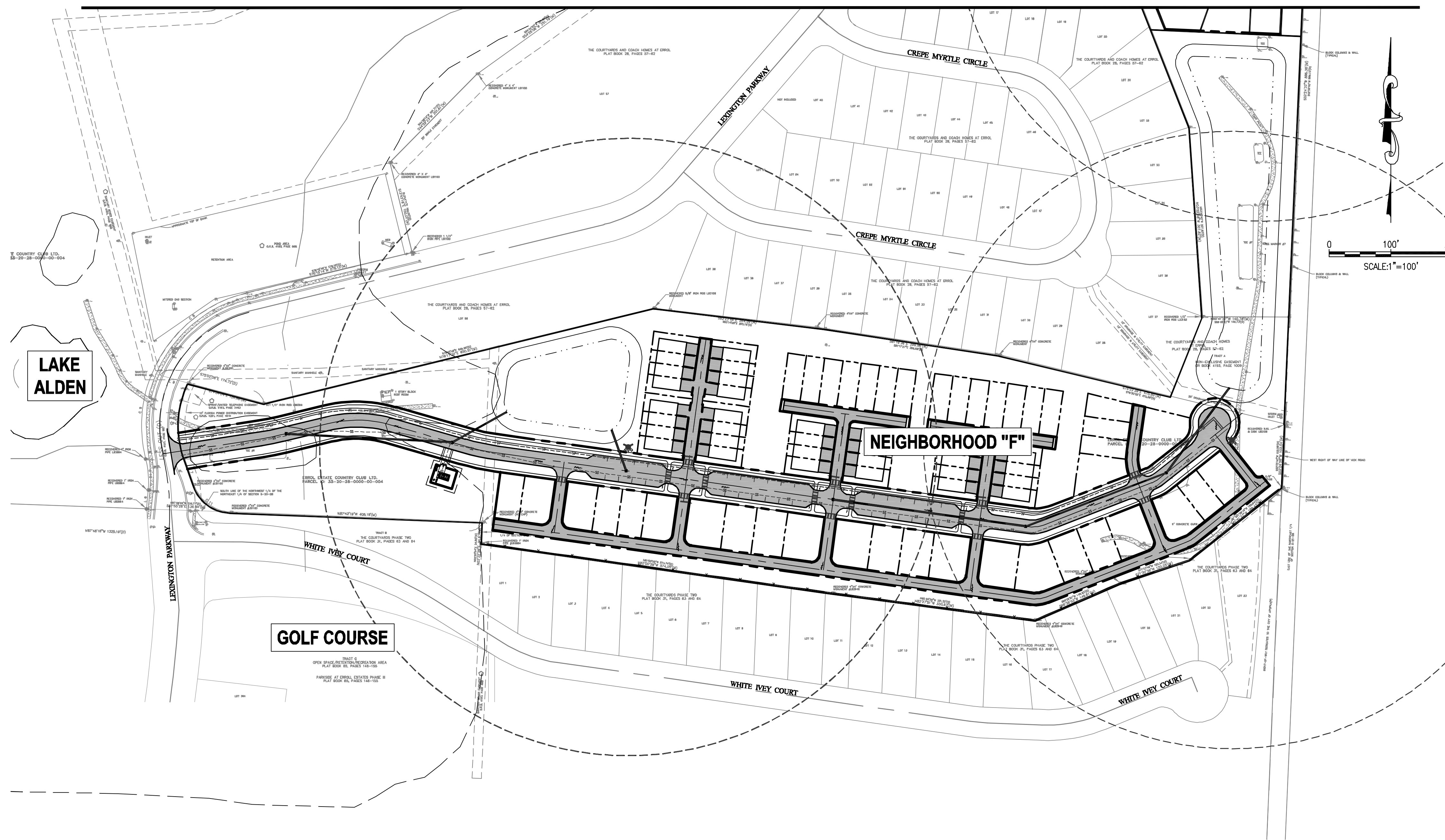
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PROJECT NO./DASH NO.
 A160186.01

SHEET
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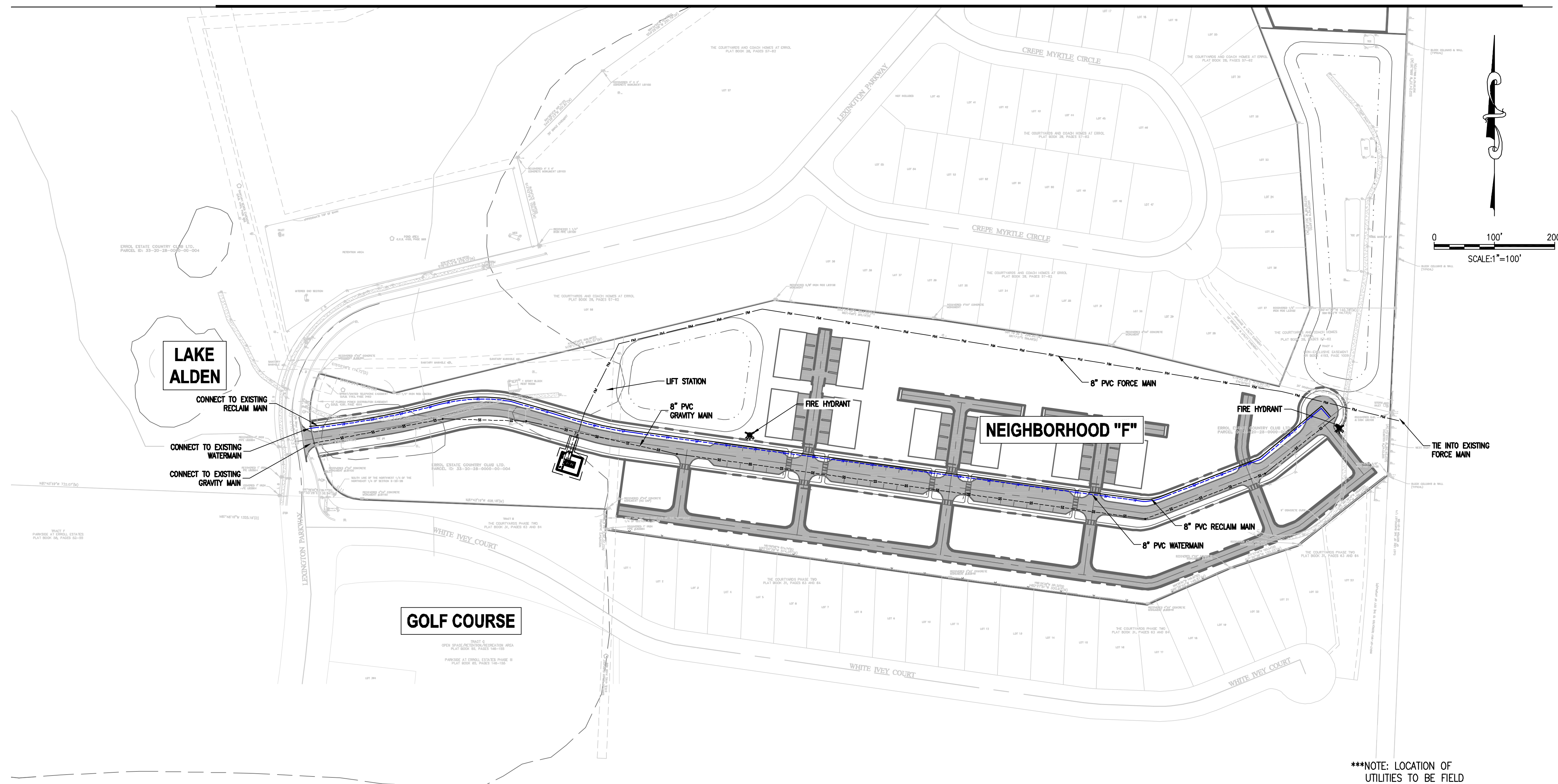
GRADING PLAN
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 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A160186.01

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***NOTE: LOCATION OF UTILITIES TO BE FIELD VERIFIED.

REVISIONS			
NO.	DATE	BY	DESCRIPTION

SCALE: AS SHOWN
 DATE: 06-08-2017
 DRAWN: MJC
 CHECKED: RSC
 APPROVED: RSC

UTILITY PLAN
 NEW ERROL
 CITY OF APOPKA, FLORIDA

SEAL
 RANDALL S. COHEN, P.E.
 No. 58581



PROJECT NO./DASH NO.
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Economics | Real Estate

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New Errol

City of Apopka Future Land Use Map Amendment Apopka, Florida

GAI Project Number: A160186.01

March 2017



Prepared by: GAI Consultants, Inc.
Orlando Office
618 East South Street, Suite 700
Orlando, FL 32801

Prepared for: Signature H Property Group
1420 Celebration Boulevard, Suite 200
Celebration, FL 34747

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1.0 Narrative

The following narrative describes the proposed development of property between Errol Parkway and Vick Road in the City of Apopka, FL. This development will require an amendment to the City's Future Land Use Map and a rezoning to accommodate the proposed uses and program. As outlined by City staff in pre-application meetings held for the project on December 8, 2016 and January 26, 2017, and Concept Plan Review with DRC on December 14, 2016, this amendment narrative statement provides information regarding existing conditions on the site and surrounding properties, descriptions of the proposed development, as well as justifications of its consistency with the City's Comprehensive Plan and surrounding community.

1.1 Existing Conditions

1.1.1 Subject Property Overview

The subject property is a 75 acre site, located in the central portion of the City of Apopka, to the northwest of the historic downtown, as shown in Figure 1. The proposed FLUMA site is comprised of several full parcels and one partial parcel, as outlined in Table 1 and in Figure 3.

Prior to the current development, the site was unincorporated Orange County agricultural land with citrus groves and cattle. In the early 1970's the site was developed by Club Corporation of America (Club Corp) as Errol Estate and Country Club, a private golf club featuring 27 holes (Lake 9, Highland 9, and Grove 9), a clubhouse, tennis courts, and a pool. In the late 1970's the club began incorporating residential development amongst the holes – and today, approximately 2,600 units are part of the Errol community. These residential subdivisions are organized into 30 separate home owner associations, 22 of which fall under the larger umbrella of the Errol Estates Property Owners Association.

Ever since the 1980's, the golf course has struggled to meet the changing needs of the Errol residents and the community at large and stay financially viable. Throughout the 1990's and 2000's membership dropped as the makeup of the residents shifted from primarily snowbirds to a mix including families and working professionals. The club was sold by Club Corp to the club members in 1997 and it became a semi-public course. Various changes have been made to the course by subsequent owners attempting to stabilize its financial viability, including closing the Grove 9, but the course and amenity area are in dire need of major infrastructure and design upgrades.

The story of Errol's decline is a situation that has repeated itself all over the state with unfortunate end results for course residents and local jurisdictions alike. Residents of closed golf course communities suffer from significantly decreased property values and local jurisdictions are many times pressured to take responsibility for upkeep of the unsightly fallow holes. Errol is determined to keep this from ultimately playing out in Apopka as well. The history, beauty, and unique character of Errol are too valuable to lose in this way; however, if nothing is done, it is inevitable that the entire golf course and clubhouse will close for good.

The strategy to make Errol viable for the long-term and avoid this fate involves several components

- Redesigning and re-routing 18 holes, mostly in the Lake and Highland 9's;
- Repositioning the clubhouse area to include modern amenities that are responsive to the needs of Errol's residents; and
- Redeveloping some of the holes into a variety of residential products including single family, carriage homes, townhomes, and assisted living.

Since the site is currently a golf course and thus designated primarily as recreation in the City's Future Land Use Map, the strategy outlined above will first require an amendment to the Future Land Use (FLU) designations of various parcels within Errol.

**Table 1.
 Parcel Data**

Figure 3 Labels	Parcel Number	Parcel ID	Owner	Total Parcel Acreage	FLUMA Portion	Existing Land Use
1	282032000000004	32-20-28-0000-00-004	5th Hole Investments LLC	277.99	Partial ¹	Golf/Vacant Golf/Water
2	282032000000008	32-20-28-0000-00-008	Errol Estate Country Club LTD	0.63	Whole	Vacant
3	282032000000003	32-20-28-0000-00-003	5th Hole Investments LLC	14.93	Whole	Country Club/Pool/Parking
4	282032000000001	32-20-28-0000-00-001	Errol Club Villas Condo Assoc. Inc.	0.65	Whole	Parking

1. Note that the proposed FLUMA site covers all or portions of 4 parcels. Parcel 1 on Figure 3 is a large, non-contiguous parcel that incorporates a majority of the existing golf course and interior lakes. This parcel is much larger than the actual amendment boundary, which will become subdivisions of this parcel.

1.1.2 Relation to the PUD Rezoning

Concurrent with the Comprehensive Plan Amendment, we are proposing a rezoning of the project to PUD, however, the two do not have identical extents. The Comprehensive Plan Amendment only encompasses those specific areas of development that require the FLU change, while the PUD rezoning boundary includes the balance of the golf course that will be reconstructed as well. Those portions of the golf course and open spaces within the PUD that are not part of the FLUMA will retain their current FLU designation.

The individual amendment tracts described in this narrative are consistent with the neighborhoods of the master plan, as detailed in the accompanying PUD rezoning, and are identified alphabetically A-G in Figure 3.

1.1.3 Adjacent Property

The proposed amendment properties are completely surrounded by either single family residential, attached condos, or golf course. Like most golf communities, many of the existing residences back up to the fairways (or former fairways) and the holes snake their way amongst the neighborhoods. On the east side of Vick Road are more single family neighborhoods, Apopka High School and 9th Grade Center. See Section 1.3 for a more detailed Consistency Analysis.

Major Adjacent roadways include:

- Errol Parkway to the west, with a two-lane divided, 80' ROW, running north-south and
- Vick Road to the east, with a two-lane divided, 80'-100' ROW, running north-south.

Minor Roadways within existing adjacent development include:

- Golf Course Drive
- Orange Grove Lane
- Linkside Court
- Lexington Parkway
- White Ivey Court
- Crepe Myrtle Circle
- Muirfield Circle
- Green Vista Circle
- Lake Francis Drive
- Golf Point Loop

1.1.4 Environmental Conditions

Floodplain

Though significant floodplain exists around the proposed development site, the actual FLUMA boundary only contains 7.79 acres of floodplain total. The development strategy contemplates impacting and compensating for floodplain in several locations, which will be accomplished through the established water management district and FEMA processes. The floodplain is shown on Figure 4.

Wetlands

Similar to floodplain, the majority of the wetlands around the development site are outside the FLUMA boundary; however, there is one wetland pocket located within parcel 1 (Neighborhood G) that totals approximately 1 acre in size. Any wetlands on the property to be impacted by development will be appropriately mitigated according to water management district processes. The wetlands on and off-site are shown on Figure 4. Note that the wetland layer

shown in Figure 4 is from the National Wetland Inventory and does not indicate surveyed jurisdictional wetland lines. Such a survey will be conducted prior to submittal of the Final Development Plans for the various phases of development.

Topography

The topography of the site slopes down towards the system of lakes from every direction, forming a depression which contains the majority of the wetlands and floodplain associated with the site. The highest point in the FLUMA is 135 feet and is located at the north end of parcel 1. The lowest point is also within parcel 1 at 65 feet. There are considerable grade changes in and around the FLUMA site which form rolling hills and vistas that are not common in central Florida.

Soils

The site is entirely comprised of soils that fall under the “excessively drained” hydrologic group A; however, the areas immediately surrounding the lakes are hydrologic group A/D signifying the possible presence of a high water table.

Table 2.
Net Developable Area Calculations

Neighborhood	Gross FLUMA Acreage	Wetland (acres) ¹	Total Floodplain (acres)	Net Floodplain (acres) ²	Net Developable (acres) ³
A	11.60	0.00	0.00	0.00	11.60
B-1	12.80	0.00	0.00	0.00	12.80
B-2	3.41	0.00	0.00	0.00	3.41
C	6.75	0.00	0.47	0.00	6.75
D	3.67	0.00	1.21	0.00	3.67
E	9.58	0.00	0.00	0.00	9.58
F	13.30	0.00	1.87	0.00	13.30
G	13.92	0.91	4.23	3.33	9.68
Totals	75.09	0.91	7.79	3.33	70.79

1. Wetlands from NWI GIS layer. A wetland survey will be conducted as part of later submittals and permits.
2. Floodplain acreage less overlapping wetland acreage.
3. Gross acreage less wetlands and net floodplain acreage.

Listed Species

A Natural Resources Assessment has been conducted for the FLUMA property and surrounding PUD rezoning property in accordance with City of Apopka submittal requirements. The report includes a review of potential and identified listed species on the site.

1.1.5 Future Land Use Amendment Data

Figures 7 and 8 show the Existing and Proposed FLU designations respectively for the various neighborhoods within the amendment area. The calculations in Tables 3 and 4 show the

development potential of the current and proposed FLU designations of the amendment properties based on maximum densities and intensities. Note that these numbers do not reflect the actual proposed development program for the site, which is described in Tables 5 and 6.

**Table 3.
Maximum Development Potential**

FLUMA Acreage	Current FLU	Max Den/ Inten	Max Dev. Potential	Proposed FLU	Max Den/ Inten	Max Dev. Potential	Dev. Potential Difference
44.89	Parks/Recreation - PR	N/A	N/A	Residential Medium - RM	10 du/acre	449 units	449 units
13.92	Parks/Recreation - PR	N/A	N/A	Residential High - RH	15 du/acre	209 units	209 units
3.48	Residential Low - RL	5 du/acre	17 units	Residential Medium - RM	10 du/acre	34 units	17 units
12.81	Residential Low - RL	5 du/acre	64 units	Commercial - COMM	0 du/acre 0.25 FAR	0 units 139,490 sq ft	-64 units 139,490 sq ft
			81 units 0 sq ft			692 units 139,490 sq ft	611 units 139,490 sq ft

1. Max Densities and Intensities for each Future Land Use designation are per City of Apopka Comp Plan.

1.1.6 Level of Service Analysis

The analysis provided in Table 4 shows the difference in Level of Service requirements between the max development capacities of the current FLU designation and the proposed FLU designation. Again, note that this does not reflect the actual building program of the proposed development, which is described in Tables 6 and 7. The Informal School Capacity Letter is attached.

**Table 4.
Level of Service Data**

Public Facilities	Max FLU Potential (current)	LOS Standard ²	Capacity Requirement	Max FLU Potential (proposed)	LOS Standard ²	Capacity Requirement	Capacity Difference
Potable Water	81 units 215 persons ¹	177 gpd/capita	38,122 gal/day	693 units 1,843 persons ¹	177 gpd/capita 200 gpd/ksf	326,156 gal/day 27,898 gal/day	315,932 gal/day
Sanitary Sewer		81 gpd/capita	17,446 gal/day	139,490 sq ft	81 gpd/capita 150 gpd/ksf	149,258 gal/day 20,924 gal/day	152,735 gal/day
Solid Waste		4 lbs/day/capita	862 lbs/day		4 lbs/day/capita 2 lbs/day/ksf	7,371 lbs/day 279 lbs/day	6,788 lbs/day
Recreation		3 acres/1000 pop	0.65 acres		3 acres/1000 pop n/a	5.53 acres	4.88 acres

1. Based on City of Apopka standard of 2.659 persons per household.
2. LOS standards per Apopka Comprehensive Plan.

Table 5 below describes the details behind the proposed FLUMA and rezoning actions for each of the development pods described previously.

**Table 5.
Detailed Future Land Use and Zoning Data**

Neighborhood	Parcel Number	FLUMA Acreage	Current FLU	Max Den/Inten	Max Dev. Potential	Proposed FLU	Max Den/Inten	Max Dev. Potential	Dev. Potential Difference	Current Zoning	Proposed Zoning
A	282032000000004	11.60	Parks/Recreation - PR	N/A	N/A	Residential Medium - RM	10 du/acre	116 units	116 units	PR	PUD
B-1	282032000000003	11.55	Residential Low - RL	5 du/acre	58 units	Commercial - COMM	0 du/acre	0 units	-58 units	PR	PUD
			Residential Low - RL	5 du/acre	3 units	Commercial - COMM	0.25 FAR	125,725 sq ft	125,725 sq ft	-3 units	PUD
B-2	282032000000001	0.63	Residential Low - RL	5 du/acre	3 units	Commercial - COMM	0 du/acre	0 units	-3 units	PR	PUD
			Residential Low - RL	5 du/acre	3 units	Commercial - COMM	0.25 FAR	6,882 sq ft	6,882 sq ft	-3 units	PR
B-2	282032000000003	3.41	Residential Low - RL	5 du/acre	17 units	Residential Medium - RM	10 du/acre	35 units	17 units	PUD	PUD
C	282032000000004	6.75	Parks/Recreation - PR	N/A	N/A	Residential Medium - RM	10 du/acre	67 units	67 units	PR	PUD
D	282032000000004	3.67	Parks/Recreation - PR	N/A	N/A	Residential Medium - RM	10 du/acre	37 units	37 units	PR	PUD
E	282032000000004	9.58	Parks/Recreation - PR	N/A	N/A	Residential Medium - RM	10 du/acre	96 units	96 units	PR	PUD
F	282032000000004	13.30	Parks/Recreation - PR	N/A	N/A	Residential Medium - RM	10 du/acre	133 units	133 units	PR	PUD
G	282032000000004	13.92	Parks/Recreation - PR	N/A	N/A	Residential High - RH	15 du/acre	209 units	209 units	PR	PUD
				81 units				692 units	611 units		
				0 sq ft				139,490 sq ft	139,490 sq ft		

1. Max Densities and Intensities for each Future Land Use designation are per City of Apopka Comp Plan.



1.2 Project Description

1.2.1 Proposed Development

While Tables 3 and 4 describe the maximum potential development on the site according to the City's Future Land Use designations, Tables 5 and 6 below describe the proposed development. Within the PUD Master Plan, each tract will specify the allowed uses, maximum densities/intensities, and unit types, thus limiting the development accordingly.

Table 6.
Proposed Development Program

Use	Program
Single Family	67 units
Multi-Family	194 units
Assisted Living	180 units
Acute Care Rehab	60 beds
Clubhouse	20,000 sq ft
Hotel	15,000 sq ft/ 40 rooms

Table 7.
Detailed Development Program Breakdown

Neighborhood	Single Family (Units)	Multi-Family Townhomes (units)	Assisted Living (units)	Acute Care Rehab (beds/sq ft)	Clubhouse (sq ft)	Hotel (sq ft/rooms)	Gross Acreage	Gross Density (du/acre)	Gross Non-Res FAR
A	0	66	0	0	0	0	11.60	5.7	--
B-1	0	0	0	0	20,000	15,000/40	12.80	0.0	0.06
B-2	0	24	0	0	0	0	3.48	6.9	--
C	0	46	0	0	0	0	6.75	6.8	--
D	0	26	0	0	0	0	3.67	7.1	--
E	26	0	0	0	0	0	9.58	2.7	--
F	41	32	0	0	0	0	13.30	5.5	--
G	0	0	180	60/45,000	0	0	13.92	12.9	.09
Totals	67 units	194 units	180 units	60 beds/ 45,000 sq ft	20,000 sq ft	15,000 sq ft/ 40 rooms	75.02 acres		

1.2.2 Site Access

Most of the new development (B-1, B-2, C, D, and E) will be accessed by a new through-road, to be constructed across the middle of the site, from Errol Parkway to Vick Road. The intersection with Errol Parkway will be at approximately the same location as the entrance drive for the existing clubhouse. The intersection at Vick Road will be aligned to Sun Bluff Lane to the greatest extent allowed by the configuration of the existing parcels and the geometry of the road. Neighborhood A will be accessed via a realigned Golf Course Drive. Neighborhood F will access off of Lexington Parkway. Neighborhood G will access directly off of Vick Road.

1.3 Consistency Analysis

The proposed redevelopment program that comprises the proposed comprehensive plan amendment is both consistent with and compatible with surrounding uses and neighborhoods. As described in the sections below, the uses and densities within the proposed redevelopment plan are similar to those which are existing in the current built environment of the adjacent and surrounding properties. The predominant Future Land Use Designations for residential uses within the Errol Estates neighborhoods are Residential Medium Low Density and Residential Medium Density, these allow for residential densities of 7.5 dwelling units per acre and 10 dwelling units per acre, respectively. The redevelopment program as proposed would have a gross developable density of 6.4 dwelling units per acre and a net developable density of 8.1 dwelling units per acre.

While the proposed redevelopment program, in part, features single family lot sizes that are smaller than those existing on adjacent parcels, these smaller lot sizes allow for greater amounts of open space and recreation areas. Unlike the adjacent and surrounding properties, the proposed redevelopment program will be established and solidified through the application of Planned Unit Development zoning. Planned Unit Development zoning is appropriate for the proposed redevelopment program based on Policy 3.1 of the Future Land Use Element of the City's Comprehensive Plan, which states, in part, that Planned Unit Development zoning is designed to provide an alternative method of land development not available within the framework of other zoning districts to special projects which merit such treatment; allow the development of sites that would normally be difficult to develop due to topography, soils, or other site specific features; allow a variety of housing types; accommodate mixed uses; and offer a maximum amount of open space and recreational amenities.

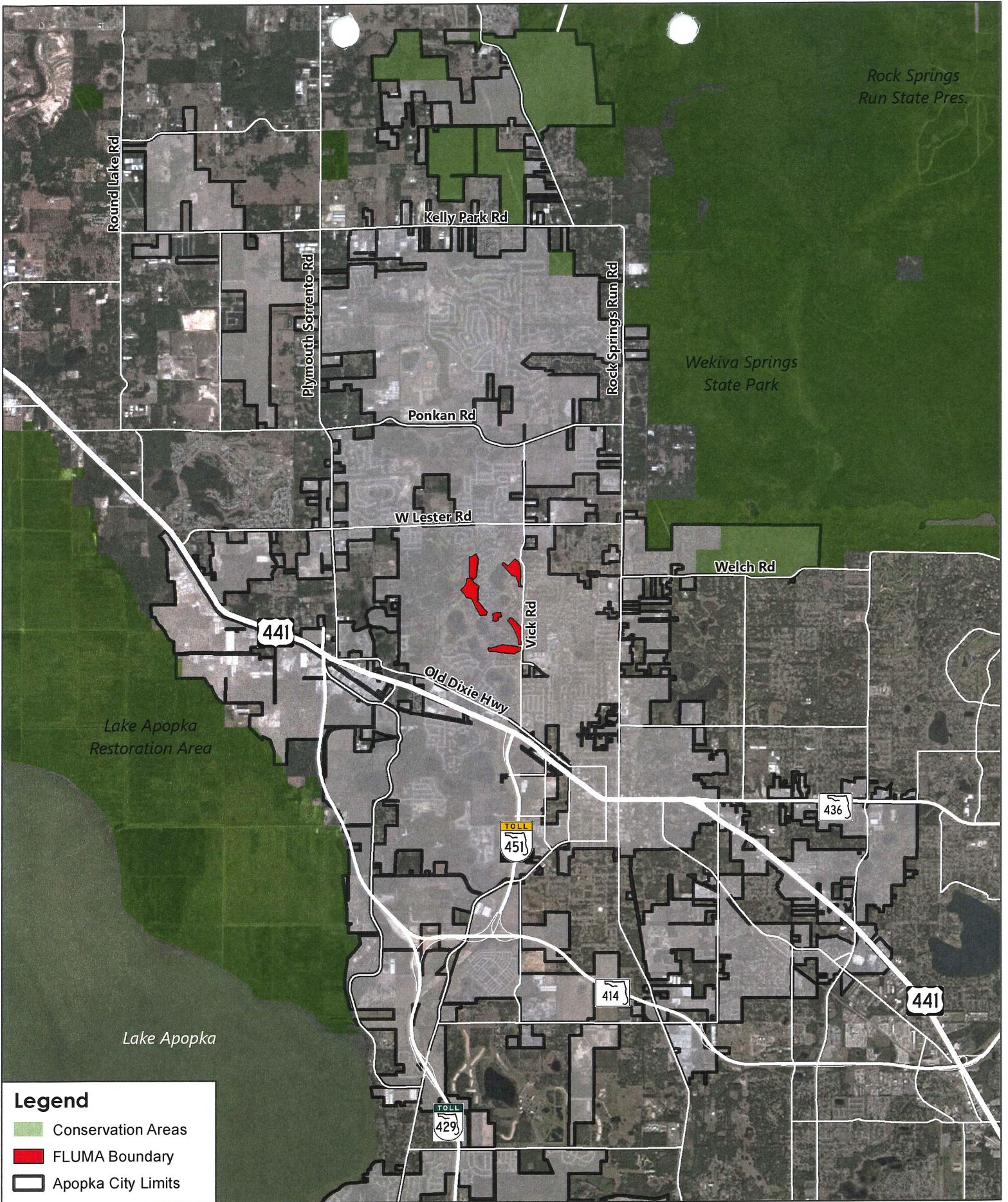
The proposed redevelopment will include residential uses on seven of the eight sites outlined in the program. Sites A, B-2, C, D, E, F and G are proposed for residential uses and Site B-1 is proposed for commercial redevelopment (clubhouse with amenity center). The table below outlines the specific uses adjacent to each of the eight sites. As is evident from the comparison table on the following page, uses surrounding each of the eight sites are similar and comparable to the uses proposed on each of the eight sites. Further, the densities that are permitted in the surrounding properties are very similar and in some cases higher than that which is being proposed on the eight sites.

Table 8.
Consistency Analysis

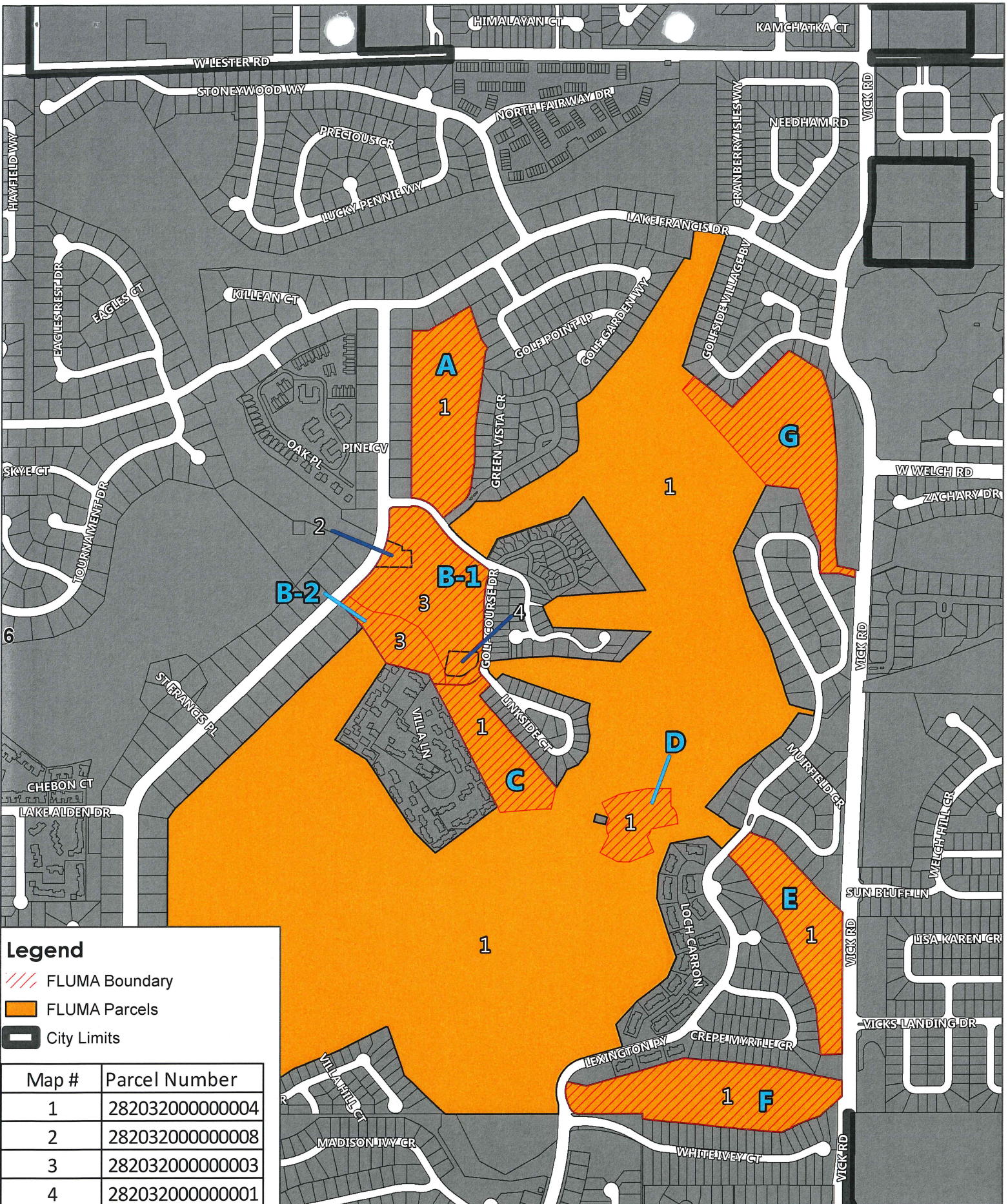
Proposed Use	Proposed FLU	Adjacent	FLU	Existing Use
Neighborhood A				
Townhomes: 44 units	Res. Medium	North South East West	Res. Low Res. Low Res. Medium Res. Low	Single Family: 120'x140' lots Clubhouse / Amenities Single Family: 70'x110' lots Single Family: 120'x140' lots
Neighborhood B-1				
Clubhouse / Boutique Hotel	Commercial	North South East West	Res. Low Res. Low & Medium Res. Medium & Medium Low Res. Low	Single Family: 120'x140' lots & Golf Course Condominium & Golf Course Single Family: 50'x100' & Townhouse Single Family: 120'x140' lots
Neighborhood B-2				
Townhomes: 24 units	Res. Medium	North South East West	Res. Low Res. Medium Res. Low & Medium Low Res. Low	Clubhouse / Amenities Condominium & Golf Course Single Family: 50'x100' & Golf Course Single Family: 120'x140' lots
Neighborhood C				
Carriage Homes: 46 units	Res. Medium	North South East West	Res. Medium Low Res. Medium Res. Low Res. Low	Single Family: 50'x100' Condominium Golf Course Clubhouse / Amenities
Neighborhood D				
Townhomes: 26 units	Res. Medium	North South East West	Parks and Recreation Parks and Recreation Parks and Recreation Parks and Recreation	Golf Course Golf Course Golf Course Golf Course
Neighborhood E				
Single Family: 26 units (40'-50'x115')	Res. Medium	North South East West	Res. Medium Low Res. Low Res. Low Res. Medium	Single Family: 85'x135' Golf Course Single Family: 60'x110' Single Family: 55'x127' & Condominium
Neighborhood F				
Townhomes: 32 units Single Family (rear load): 41 units (30'-50'x75')	Res. Medium	North South East West	Res. Medium Res. Low Res. Low Res. Low	Single Family: 55'x127' & Condominium Single Family: 55'x150' Single Family: 60'x110' Golf Course
Neighborhood G				
Assisted Living Facility: 180 units Acute Care Facility: 60 beds	Res. High	North South East West	Res. Low Res. Medium Res. Medium Res. Low	Single Family: 60'x100' Single Family: 85'x125' Vacant: R-3 Zoning Golf Course

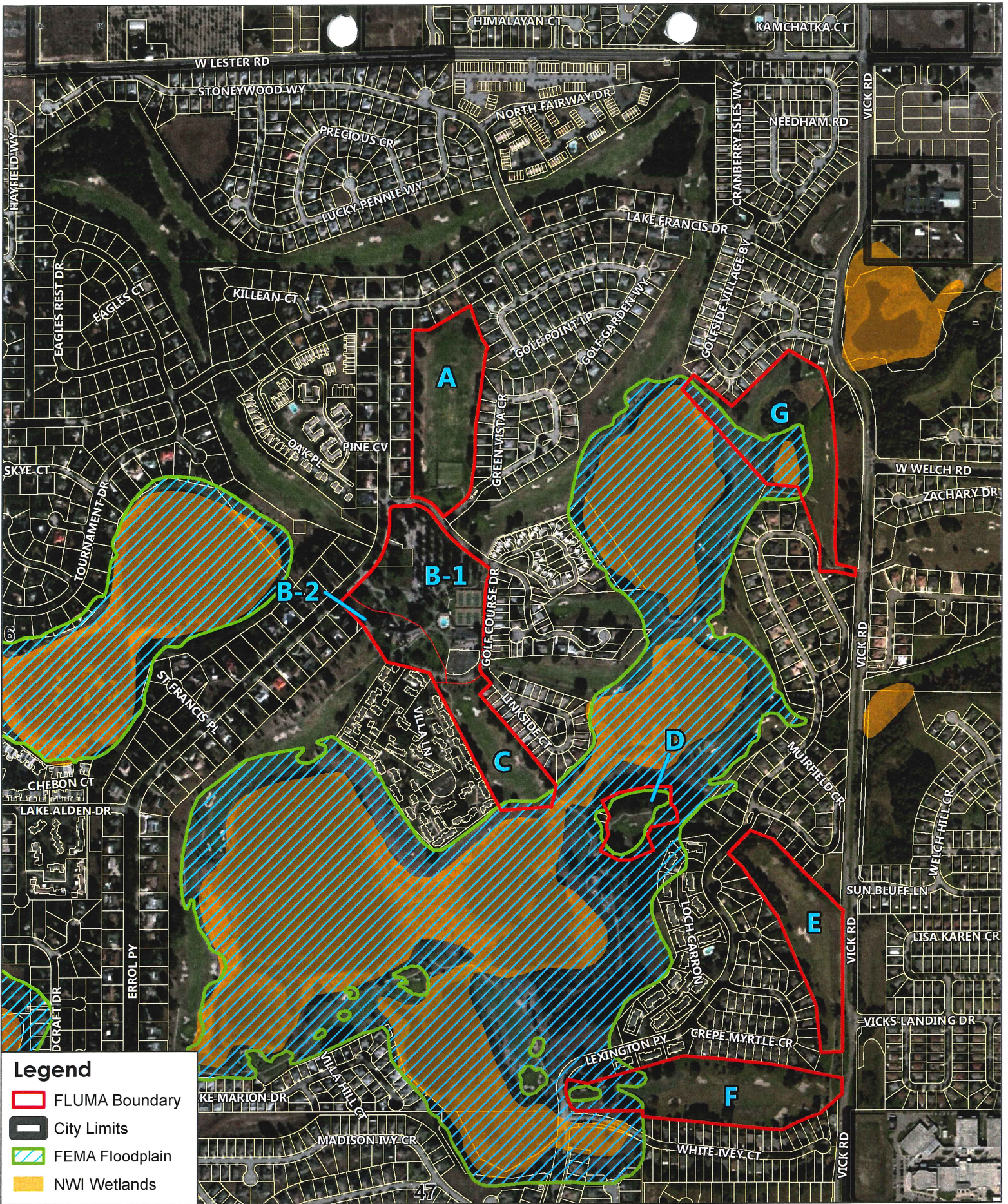
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FIGURES



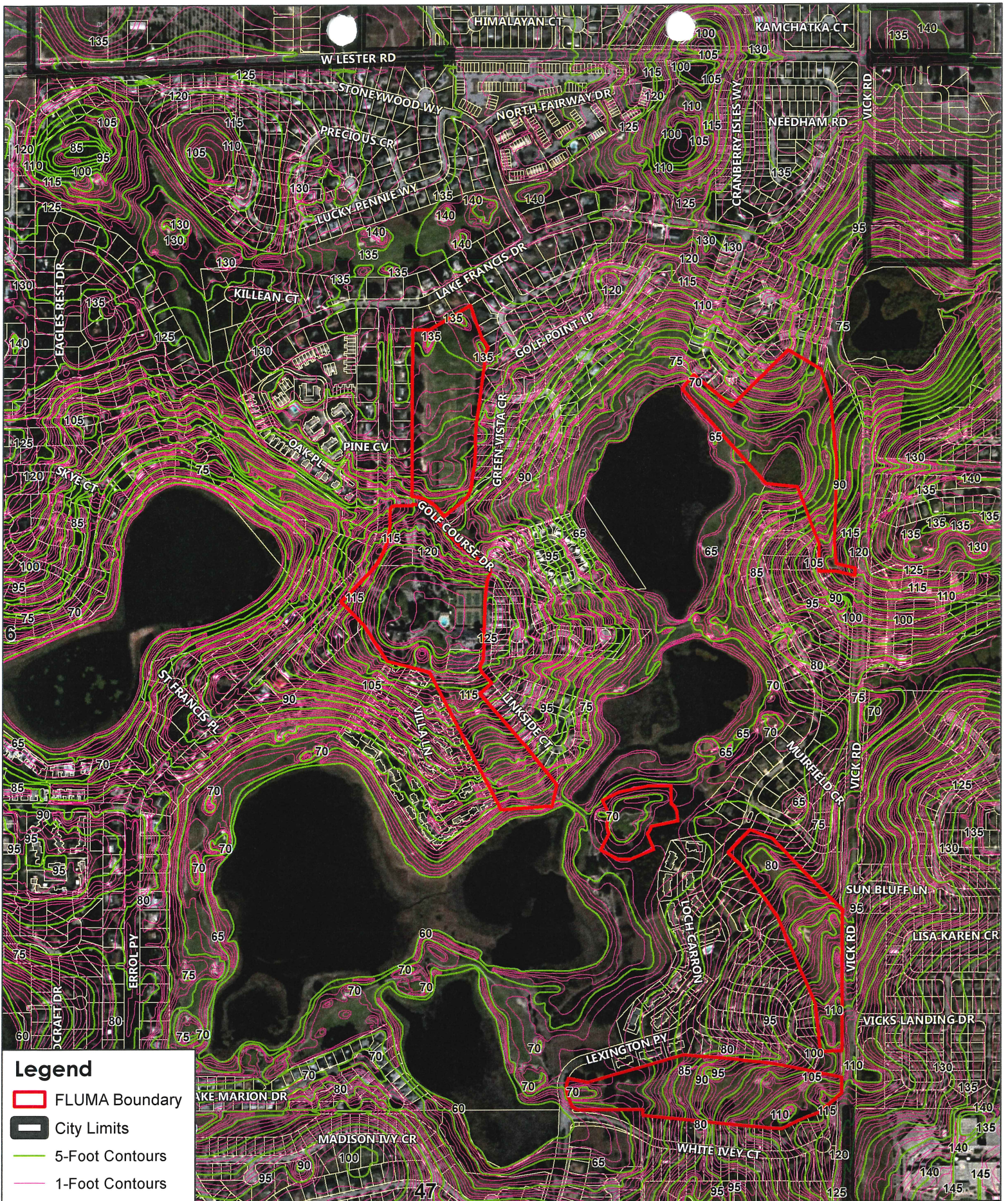


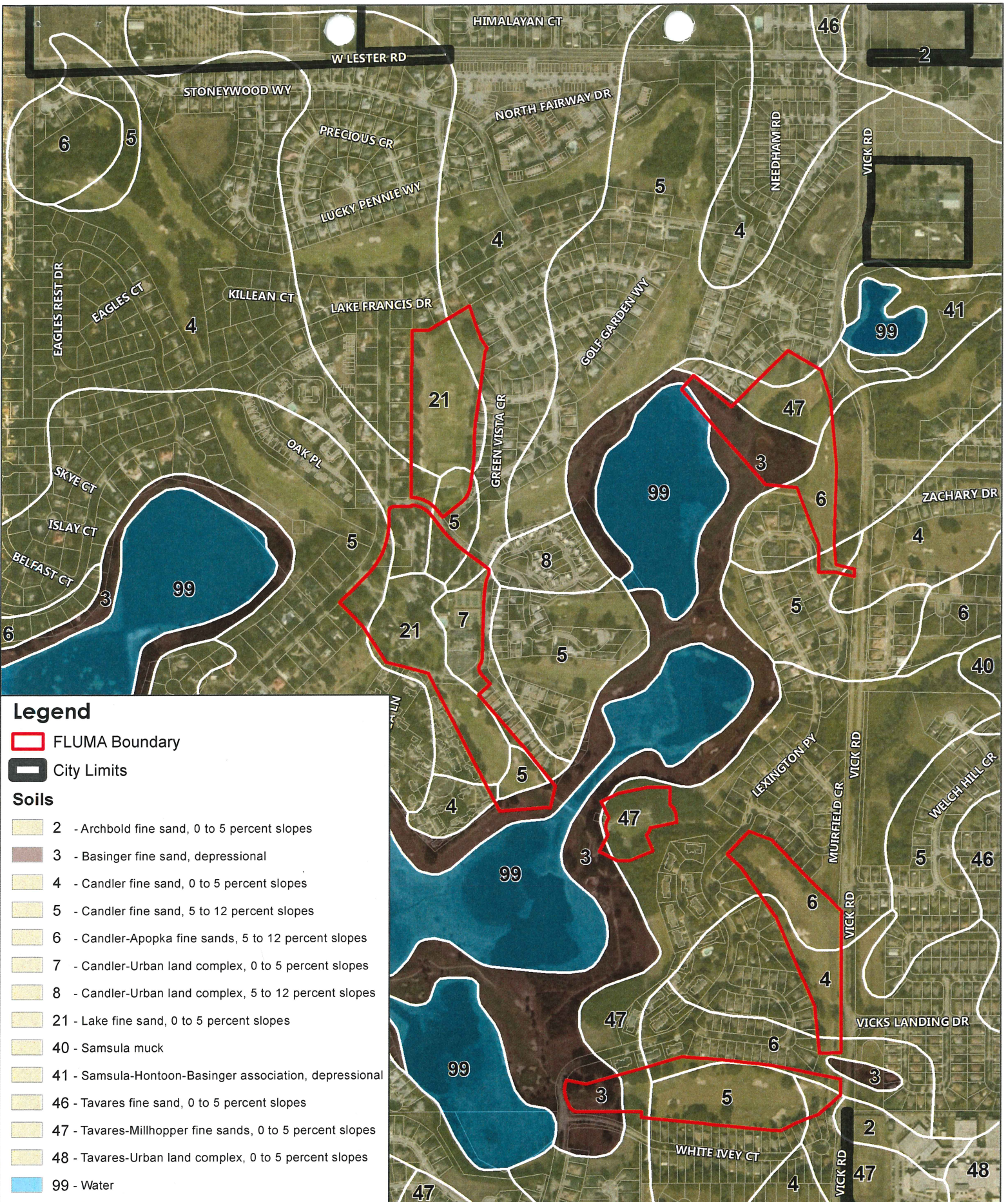




- Legend**
- FLUMA Boundary
 - City Limits
 - FEMA Floodplain
 - NWI Wetlands







Legend

FLUMA Boundary

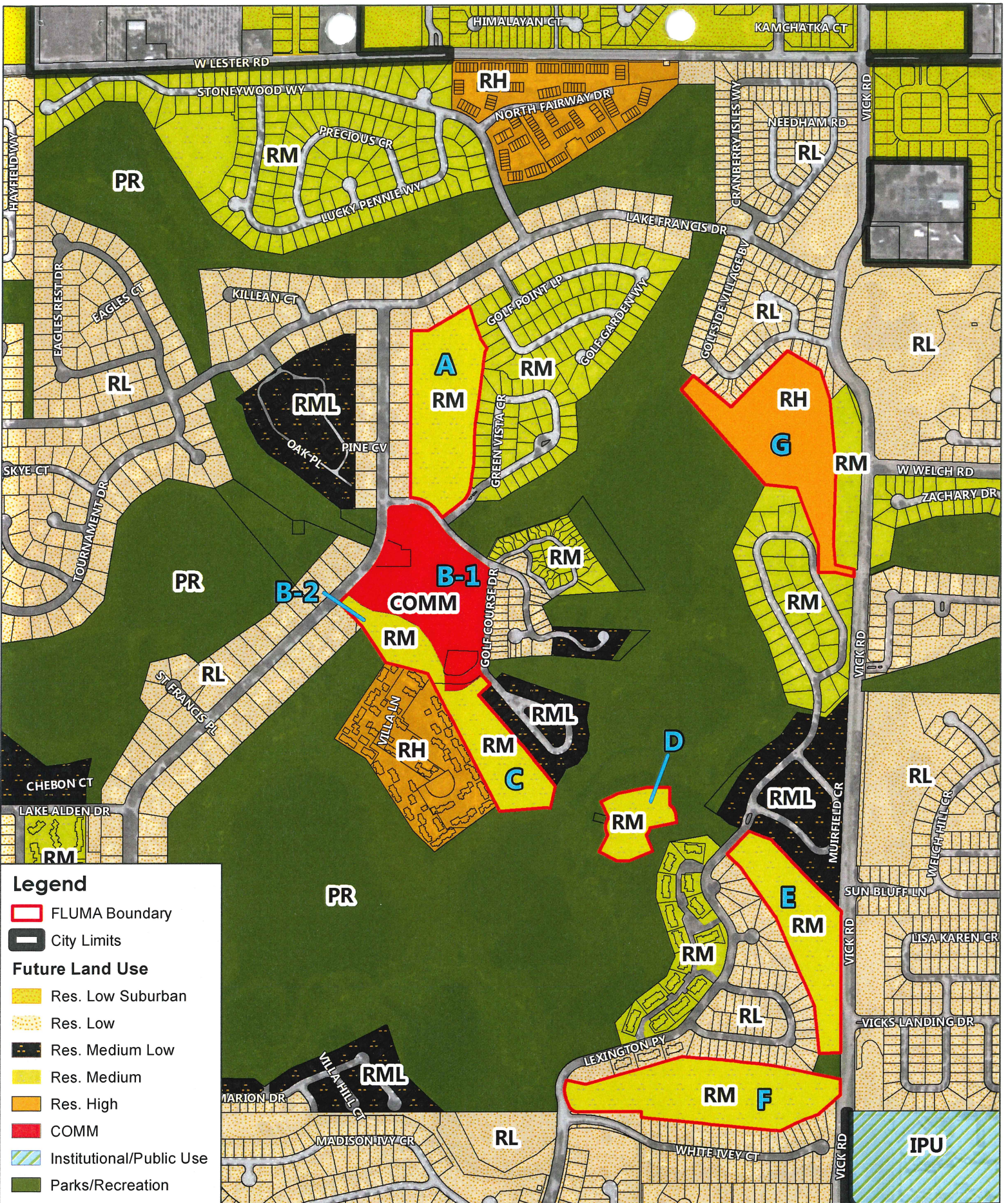
City Limits

Soils

- 2 - Archbold fine sand, 0 to 5 percent slopes
- 3 - Basinger fine sand, depressional
- 4 - Candler fine sand, 0 to 5 percent slopes
- 5 - Candler fine sand, 5 to 12 percent slopes
- 6 - Candler-Apopka fine sands, 5 to 12 percent slopes
- 7 - Candler-Urban land complex, 0 to 5 percent slopes
- 8 - Candler-Urban land complex, 5 to 12 percent slopes
- 21 - Lake fine sand, 0 to 5 percent slopes
- 40 - Samsula muck
- 41 - Samsula-Hontoon-Basinger association, depressional
- 46 - Tavares fine sand, 0 to 5 percent slopes
- 47 - Tavares-Millhopper fine sands, 0 to 5 percent slopes
- 48 - Tavares-Urban land complex, 0 to 5 percent slopes
- 99 - Water











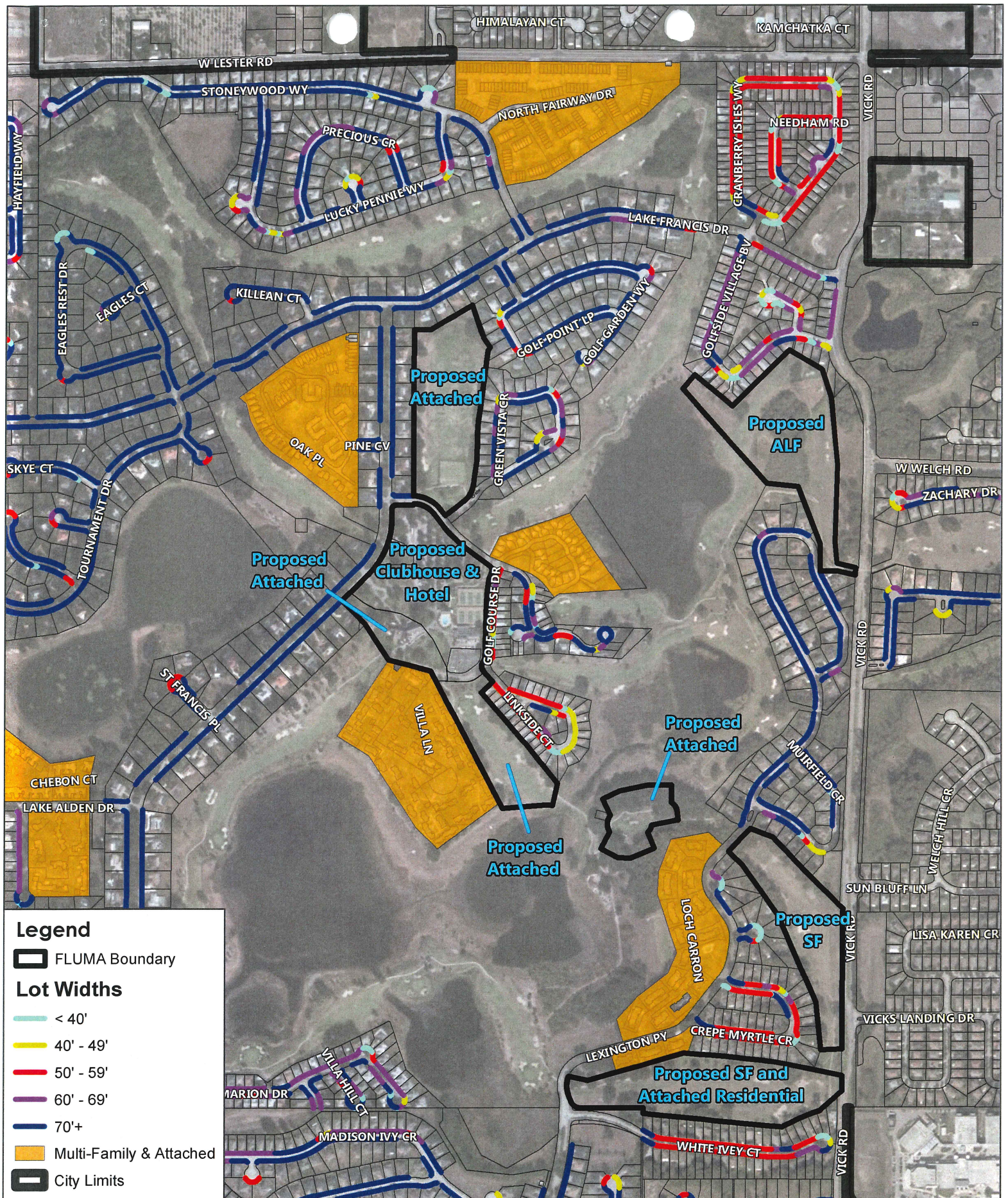
Legend

- FLUMA Boundary
- City Limits

Zoning

- R-1
- R-1A
- R-1AA
- PO/I
- PR
- PUD
- R-3





OCPS INFORMAL CAPACITY DETERMINATION



Orange County Public Schools

6501 Magic Way • Building 200 • Orlando, FL 32809-5677 • Phone 407.317.3700 • www.planning.ocps.net

February 10, 2017

VIA E-MAIL: p.panza@gaiconsultants.com

Mr. Patrick Panza
GAI Consultants, Inc.
618 E. South Street, Suite 700
Orlando, FL 32801

**RE: Informal Capacity Inquiry for Errol Estates, INF-APK-17-001
Property ID # 32-20-28-2496-00-001, 32-20-28-5817-00-005
32-20-28-0000-00-003/001/062/004/008/042, 05-21-28-1835-00-001**

Dear Mr. Panza,

Attached are the results of the Informal Capacity Inquiry you requested for your project, Errol Estates.

This informal review shows that if your project were to undergo a formal capacity enhancement and concurrency analysis based on 95 single-family and 166 townhome units your project would likely fail capacity enhancement and/or concurrency.

As described to OCPS, the project scope also includes an additional 220 senior living units. These 220 senior living units were not accounted for in this analysis. Because the project may include approval for age-restricted units, the developer shall include in its conditions, covenants, and/or restrictions (CC&Rs) that restrict occupancy to senior adults and that comply with the requirements of the Housing for Older Persons Act [42 U.S.C. §3607(b).] Such CC&Rs shall be recorded in the public records of Orange County, Florida and shall run with the land. The CC&Rs shall include language that at least one owner/resident shall be at least 55 years of age and in no case shall there be any residents aged 18 years or under. No permanent residency by school-aged children shall be generated as a result of any development on this development. Any proposed future conversion of the senior housing to unrestricted housing or any proposal to add permanent residency by school-aged children shall constitute a substantial change that must be approved by the Planning and Zoning Commission and the City Commission of Apopka at a public hearing. If the substantial change is approved, school impact fees in effect at that time shall be paid and the project shall comply with any school capacity and school concurrency regulations in effect at that time.

If the project moves forward with a formal capacity enhancement application before CC&R's are approved the 220 senior units may be noted in the application documents. However, in order to move forward with a Capacity Enhancement Agreement, a formal statement from the developer on the intent of the senior units, verified by the local government is required.

Please be advised that the information contained in this analysis is non-binding and subject to change based on adjustments in capacity, enrollment and development activity in the area.

If you would like to obtain a formal determination of school concurrency, you must submit an Application for Capacity Determination and Concurrency Recommendation application to Orange County Public Schools. If you fail a formal determination, mitigation options might be available to you that may permit your project to proceed.

If you have any questions, please call me at 407-317-3700 ext. 2022391 or e-mail me at jamie.diluzioboerger@ocps.net.

Sincerely,

A handwritten signature in cursive script that reads "Jamie Boerger".

Jamie Boerger, AICP, LEED AP
Administrator
OCPS Facilities Planning

JDB/ths

Attached – Preliminary Non-Binding Capacity Determination

ORANGE COUNTY PUBLIC SCHOOLS

Planning & Governmental Relations

Preliminary NON-BINDING Capacity Determination

February 9, 2017

15:52:13

Project ID:

INF – APK– 17 – 001

00108470

Project Name: ERROL ESTATES

Unvested Units	Single Family Units:	95
	Multi Family Units:	0
	Town Homes Units:	166
	Mobile Homes Units:	0

School Level	Elementary	Middle	High
CSA:	BB		
School:	Apopka ES	Wolf Lake MS	Apopka HS

Concurrence				
Analysis of Existing Conditions				
School Level	Elementary	Middle	High	
CSA Capacity (2016 - 2017)	2,023	1,109	3,020	
Enrollment (2016 - 2017)	1,913	1,309	3,295	
Utilization (2016 - 2017)	94.6%	118.0%	109.1%	
LOS Standard	110.0%	100.0%	100.0%	
Available Seats	312	0	0	
Analysis of Reserved Capacity				
School Level	Elementary	Middle	High	
Encumbered Capacity	168	92	28	
Reserved Capacity	26	5	2	
Adjusted Utilization	104.2%	126.8%	110.1%	
Adjusted Available Seats	118	0	0	
Analysis of Proposed Development				
School Level	Elementary	Middle	High	
Students Generated	45.037	21.641	27.717	
Adjusted Utilization	106.4%	128.7%	111.0%	
PASS/FAIL	PASS	FAIL	FAIL	
Number of Seats to Mitigate	0.000	21.641	27.717	

Capacity Enhancement				
Analysis of Existing Conditions				
School Level	Elementary	Middle	High	
School Capacity (2016 - 2017)	830	1,109	3,020	
Enrollment (2016 - 2017)	811	1,309	3,295	
Utilization (2016 - 2017)	98.0%	118.0%	109.0%	
LOS Standard	110.0%	100.0%	100.0%	
Available Seats	102	0	0	
Analysis of Reserved Capacity				
School Level	Elementary	Middle	High	
Encumbered Capacity	168	92	28	
Reserved Capacity	26	5	2	
Adjusted Utilization	121.1%	126.8%	110.1%	
Adjusted Available Seats	0	0	0	
Analysis of Proposed Development				
School Level	Elementary	Middle	High	
Students Generated	45	22	28	
Adjusted Utilization	126.5%	128.7%	111.0%	
PASS/FAIL	FAIL	FAIL	FAIL	

TRAFFIC IMPACT STUDY

ERROL ESTATES REDEVELOPMENT
CITY OF APOPKA, FLORIDA



Prepared for:

GAI Consultants, Inc.
618 East South Street, Suite 700
Orlando, FL 32801

Prepared by:

Traffic Planning and Design, Inc.
535 Versailles Drive
Maitland, Florida 32751
407-628-9955

April 2017

TPD № 4892

PROFESSIONAL ENGINEERING CERTIFICATION

I hereby certify that I am a Professional Engineer properly registered in the State of Florida practicing with Traffic Planning & Design, Inc., a corporation authorized to operate as an engineering business, EB-3702, by the State of Florida Department of Professional Regulation, Board of Professional Engineers, and that I have prepared or approved the evaluations, findings, opinions, conclusions, or technical advice attached hereto for:

PROJECT: Errol Estates Redevelopment
LOCATION: Apopka, Florida
CLIENT: GAI Consultants, Inc.

I hereby acknowledge that the procedures and references used to develop the results contained in these computations are standard to the professional practice of Transportation Engineering as applied through professional judgment and experience.

NAME: Turgut Dervish, P.E.
P.E. No: 20400
DATE: April 14, 2017

SIGNATURE:

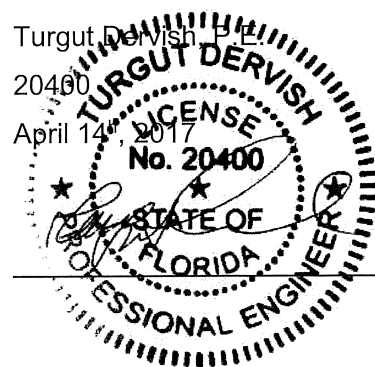


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INTRODUCTION

This traffic analysis was conducted to assess the traffic impact of the Errol Estates Redevelopment project proposed for nine (9) holes on the existing Errol Estates Golf Course located west of Vick Road and north of Old Dixie Highway in the City of Apopka, Florida. **Figure 1** depicts the site location and its one-mile impact area.

Development Program

The proposed project will involve the redevelopment of nine (9) holes of the existing golf course comprising the land uses listed in **Table 1** and illustrated in the concept plan in **Appendix A**. The project will be constructed in phases with the anticipated project build out year being the first quarter of 2021.

Table 1
Development Program

Zone	Land Use	Quantity
A	Townhomes	66 Townhomes
B-1	Hotel with Clubhouse	40 Rooms
B-2	Town Homes	24 Townhomes
C	Carriage Homes (Townhomes)	44 Townhomes
D	Townhomes	25 Townhomes
E	Townhomes	26 Townhomes
F	Townhomes	32 Townhomes
	Single Family Units	44 SF Units
G	Assisted Living Facility	160 Beds
	Acute Care Facility	60 Beds

Project Access and Internal Connectivity

A new two-lane roadway connecting Errol Parkway and Vick Road is proposed as part of the redevelopment project. This roadway will connect to Vick Road at the Vick Road and Sun Bluff Lane intersection. This roadway will serve as the primary internal collector roadway for the land uses proposed as part of the redevelopment.





Errol Estates Redevelopment
 Project No 4892
 Figure 1

Project Location Map



Study Methodology

The analysis was conducted in accordance with the study methodology discussed with the City of Apopka. A summary of the study methodology discussion is included in **Appendix B**.

The roadways and intersections within the study impact area consisted of:

Roadway Segments

- Martin Street
 - Park Avenue to Lake Avenue
 - Maine Avenue to Vick Road

- Old Dixie Highway
 - Errol Parkway to Vick Road
 - Vick Road to Bradshaw Road

- Vick Road
 - US 441 to Old Dixie Highway
 - Old Dixie Highway to Martin Street
 - Martin Street to Welch Road
 - Welch Road to Lake Francis Drive

- Welch Road
 - Vick Road to Rock Springs Road (CR 535)

Intersections

- Vick Road and Welch Road
- Vick Road and Sun Bluff Lane
- Vick Road and Martin Road
- Vick Road and Old Dixie Highway



EXISTING CONDITIONS ANALYSIS

Capacity analyses were performed for the study roadways and intersections for existing traffic in order to determine their current operating conditions.

Roadway Segment Analysis

The study roadway segments were analyzed by comparing the existing daily and P.M. peak hour traffic volumes of each roadway segment with its corresponding capacity. A summary of the roadway capacity analysis is presented in **Table 2**. This table shows the roadway segments along with their number of lanes, adopted LOS/capacity, existing traffic volumes and resultant Levels of Service. The results of the roadway capacity analysis (daily and P.M. peak hour) indicate that the study roadway segments have sufficient capacity and are operating at acceptable Levels of Service.

Table 2
Existing Roadway Capacity Analysis

Roadway	Segment	Lns	LOS Stnd	Capacity		Existing Vols			Existing LOS	
				Daily	PH/PD	Daily	Pk Dir	PH/PD	Daily	PH/PD
Martin St	Park Ave to Lake Ave	2L	E	14,000	720	3,779	NB/EB	198	C	C
	Maine Ave to Vick Rd	2L	E	14,000	720	4,273	NB/EB	275	C	C
Old Dixie Hwy	Errol Pkwy to Vick Rd	2L	E	14,000	720	8,291	SB/WB	483	D	D
	Vick Rd to Bradshaw Rd	2L	E	14,000	720	9,138	SB/WB	429	D	D
Vick Rd	US 441 to Old Dixie Hwy	4LD	E	33,800	1,700	12,438	NB/EB	850	C	D
	Old Dixie Hwy to Martin St	2L	E	17,200	880	14,293	NB/EB	797	D	D
	Martin St to Welch Rd	2L	E	17,200	880*	13,841	NB/EB	826	D	D
	Welch Rd to Lake Francis Dr	2L	E	17,200	880*	11,181	NB/EB	597	D	D
Welch Rd	Vick Rd to Rock Springs Rd (CR 535)	2L	E	16,400	840	10,780	NB/EB	533	D	D

*ArtPlan analysis conducted as part of the projected conditions section to determine segment capacity

Intersection Capacity Analysis

A capacity analysis was conducted for each study intersection for the existing conditions using the *Synchro* software which applies the procedures of the 2010 *Highway Capacity Manual (HCM)*. In the analysis, the existing intersection geometry and P.M. peak hour volumes were utilized. The existing intersection turning movement counts were not adjusted with a seasonal factor as the traffic counts were conducted during the peak season. The existing intersection traffic volumes for the PM peak hour used in the analysis are illustrated in **Figure 2**. The



intersection capacity analysis results are summarized in **Table 3**. The raw turning movement counts are included in **Appendix C** and detailed printouts of the existing intersection capacity analyses are included in **Appendix D**.

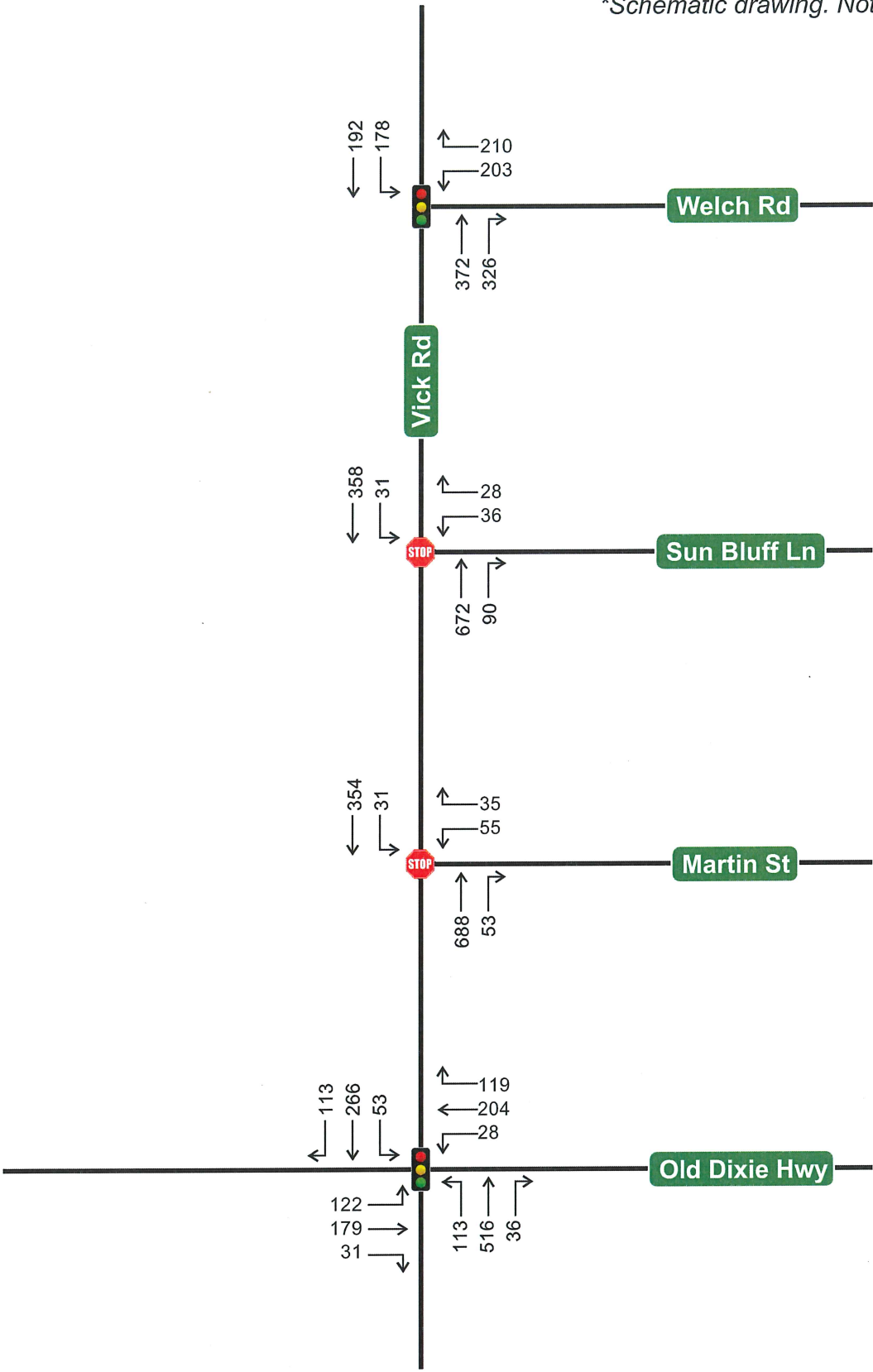
Table 3
Existing Intersection Capacity Analysis

Intersection	Control	EB		WB		NB		SB		Overall	
		Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Vick Rd & Welch Rd	Signal	--	--	35.6	D	20.2	C	10.8	B	22.1	C
Vick Rd & Sun Bluff Ln*	Stop	--	--	21.6	C	--	--	0.7	A	--	--
Vick Rd & Martin Rd*	Stop	--	--	30.6	D	--	--	0.8	A	--	--
Vick Rd & Old Dixie Hwy	Signal	32.4	C	38.4	D	17.1	B	17.9	B	24.4	C

* Control delay values shown

The analysis indicates that all the study intersections currently operate at acceptable Levels of Service.

*Schematic drawing. Not to Scale.



PROPOSED DEVELOPMENT AND TRIP GENERATION

To determine the traffic impact of this development on the area roadways, an analysis of its trip generation characteristics was conducted. This included the determination of the trips to be generated and the distribution/assignment of these trips to the roadways and intersections in the area.

Trip Generation

The trip generation for the proposed development was calculated using the trip generation rates published by the Institute of Transportation Engineers (ITE) in their *Trip Generation Manual, 9th Edition*. The calculation is summarized in **Table 4** which shows that development will generate a total of 2,309 net new daily trips and of which 209 will occurring during the P.M. peak hour. The trip generation worksheets are included in the study methodology. Based upon this trip generation, the development shall be required to provide twelve (12) mobility standards as a minimum.

Table 4
Trip Generation Summary

ITE Code	Land Use	Size	Daily		PM Peak Hour			
			Rate	Trips	Rate	Total	Enter	Exit
Existing								
430	Golf Course	9 Holes	35.74	322	2.92	26	13	13
Projected								
230	Residential Townhomes	217 DU	5.82	1,263	0.52	113	76	37
210	Single Family Residential	44 DU	11.22	494	1.14	50	32	18
254	Assisted Living	160 Beds	2.66	426	0.22	35	15	20
310	Hotel	40 Rms	8.17	327	0.60	24	12	12
620	Nursing Home	60 Beds	2.01	121	0.22	13	4	9
<i>Subtotal</i>			--	2,631	--	235	139	96
Net New Project Trips			--	2,309	--	209	126	83

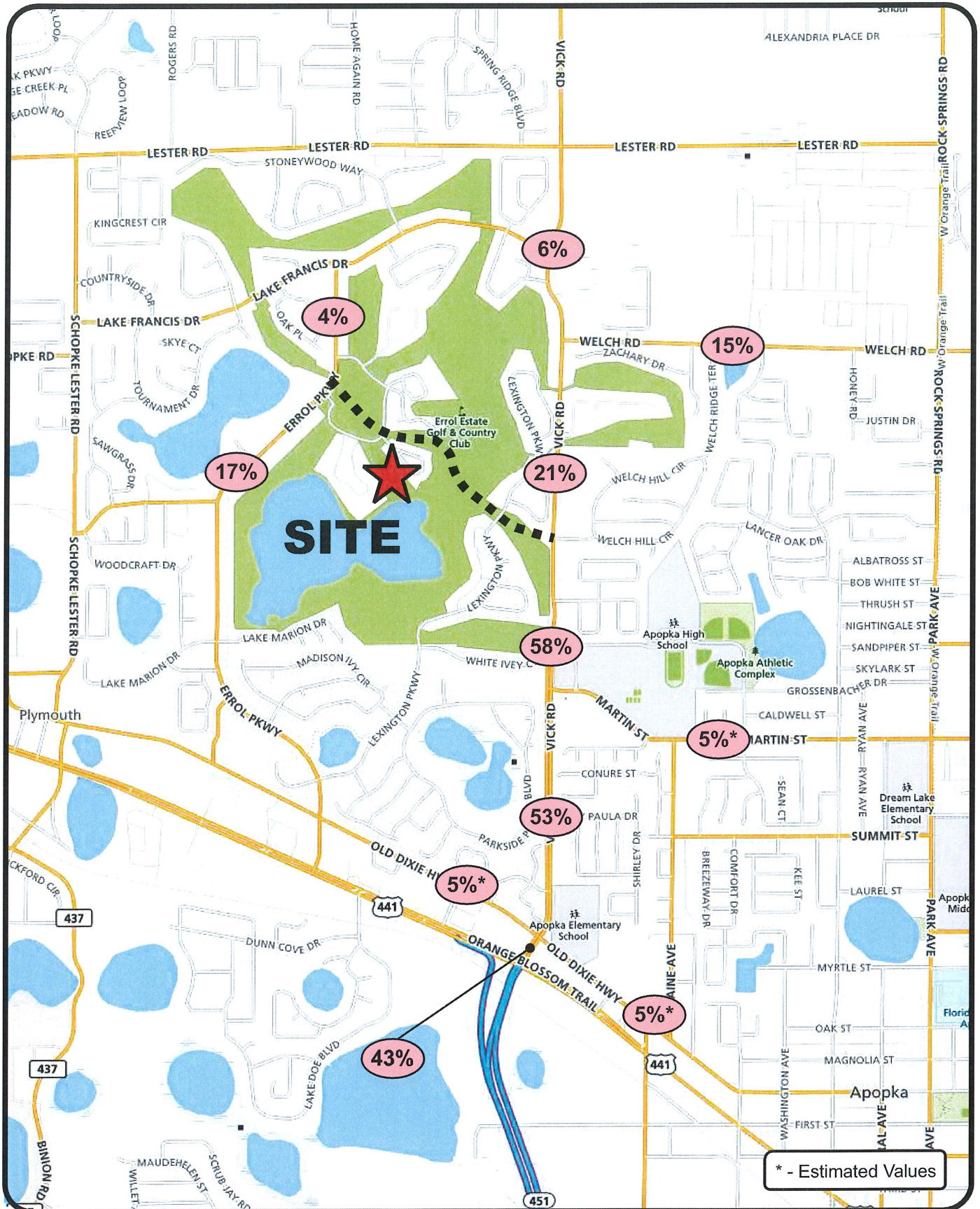
Trip Distribution/Assignment

A trip distribution pattern was estimated using the currently adopted *Orlando Urban Area Transportation Study (OUATS)* model. A Select Zone Analysis (SZA) was conducted by modifying the 2020 interim year model network to include a Traffic Analysis Zone (TAZ)



representing the proposed project as well as adding the proposed roadway connecting Errol Parkway and Vick road not previously coded/included into the model network. The model's socio-economic data was also updated to reflect the proposed project buildout. The resulting trip distribution model plot is provided in the **Appendix E** and the distribution pattern is shown in **Figure 3**. Utilizing this distribution, the development project trips were assigned to the area roadways.





* - Estimated Values

TPD Errol Estates Redevelopment
Project No 4892
Figure 3

Trip Distribution Map



PROJECTED TRAFFIC CONDITIONS ANALYSIS

Projected traffic conditions were analyzed for the project buildout to assess the development's impact on the study roadways and intersections. The analysis was conducted for daily and P.M. peak hour/peak direction conditions for roadways and P.M. peak hour volumes for the intersections.

Background Traffic Projections

Projected traffic volumes consist of background traffic combined with site generated traffic. Typically, in the City of Apopka, background traffic volumes are determined by adding committed/reserved trips from previously approved development to the existing traffic volumes. However, as this project has very low committed/reserved trips on the study segments (typically less than 20 vehicles in the peak direction) and this project has an estimate buildout year of 2021 beyond the City's traffic concurrency tracking horizon, background traffic volumes were developed by expanding the existing peak hour traffic volumes to the buildout year using an annual growth rate. For the purposes of this study and based on discussions with City staff, a nominal annual growth rate of 1% was utilized. This growth rate was applied to the existing traffic volumes as appropriate in order to determine the projected background volumes in the project buildout year.

Roadway Segment Analysis

The study roadways were subjected to a capacity analysis by comparing the total projected traffic volume of each segment to the capacity of the segment. The analysis of daily and P.M. peak hour conditions is summarized in **Tables 5**. Based on discussion with the City of Apopka staff, an ArtPlan analysis was conducted for the segments of Vick Road as provided in **Appendix F**. Based on this analysis, the maximum normally acceptable directional service volume for LOS E in Florida for this facility type and area type is 1000 veh/h/ln (as highlighted in yellow on page 2 of the ArtPlan capacity worksheets).

The results of the roadway capacity analysis (daily and P.M. peak hour) indicate that all the roadway segments have sufficient capacity to accommodate the trips generated by the proposed development.



**Table 5
Projected Roadway Capacity Analysis**

Roadway	Segment	Lns	LOS Stnd	Capacity		B'grnd Vols		Project Trips			Total Traffic		Projected LOS	
				Daily	PH/PD	Daily	Pk Dir	Trip Dist	Daily	Pk Dir	Daily	PH/PD	Daily	PH/PD
Martin St	Park Ave to Lake Ave	2L	E	14,000	720	3,930	206	5%	99	4	4,029	210	C	C
	Maine Ave to Vick Rd	2L	E	14,000	720	4,444	286	5%	99	4	4,543	290	C	C
Old Dixie Hwy	Errol Pkwy to Vick Rd	2L	E	14,000	720	8,623	502	5%	99	4	8,722	506	D	D
	Vick Rd to Bradshaw Rd	2L	E	14,000	720	9,504	446	5%	99	6	9,603	452	D	D
Vick Rd	US 441 to Old Dixie Hwy	4LD	E	33,800	1,700	12,936	884	43%	852	49	13,788	933	C	D
	Old Dixie Hwy to Martin St	2L	E	17,200	880	14,865	829	53%	1050	38	15,915	867	D	E
	Martin St to Welch Rd	2L	E	17,200	1,000*	14,395	859	58%	1150	41	15,545	900	D	E
	Welch Rd to Lake Francis Dr	2L	E	17,200	1,000*	11,628	621	6%	119	4	11,747	625	D	D
Welch Rd	Vick Rd to Rock Springs Rd (CR 535)	2L	E	16,400	840	11,211	554	15%	297	11	11,508	565	D	D

**ArtPlan derived capacity values*



Intersection Capacity Analysis

To assess the projected operational conditions at the study intersections, an intersection capacity analysis was conducted using the total projected traffic volumes along with the current roadway geometry. **Figure 4** shows the projected PM peak intersection traffic volumes for the study intersections. The analysis was conducted similar to the existing utilizing the *Synchro* software. The projected Levels of Service are summarized in **Table 6**. Detailed printouts of the intersection capacity analysis worksheets are included in **Appendix G**. During discussion with the City of Apopka staff, it was noted that the Vick Road and Martin Road intersection is slated to be signalized; therefore, this signal was assumed to be in place as part of this traffic study.

**Table 6
Projected Intersection Capacity Analysis**

Intersection	Control	EB		WB		NB		SB		Overall	
		Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS
Vick Rd & Welch Rd	Signal	--	--	41.5	D	22.9	C	12.2	B	25.5	C
Vick Rd & Sun Bluff Ln ¹	Stop	46.0	E	118.7	F	1.6	A	0.6	A	--	--
Vick Rd & Martin Rd ²	Signal	27.1	C	--	--	8.1	A	4.2	A	--	--
Vick Rd & Old Dixie Hwy	Signal	32.4	C	38.8	D	18.5	B	19.0	B	25.0	C

1. Control delay values shown. EB and WB movement V/C ratios are 0.659 and 0.804, respectively.

2. HCM 2000 delay value shown as HCM 2010 methodology does not calculate a LOS for share lanes

The analysis indicated that all the study intersections are currently and are projected to continue to operate at acceptable Levels of Service. The minor street stop control approaches at the Vick Road and Sun Bluff Lane intersection are projected to have delays during the PM peak hour. However, the volume to capacity ratios for these movements are less than 1.0, indicating that there is sufficient capacity to accommodate the projected volumes.